

QUESTION 9 - MAPS

The following maps must be provided as a part of the ADA. The appropriate scale for each map should be determined at the pre-application conference.

Map A. A general location map. Indicate the location of any urban service area boundaries and regional activity centers near the project site.

See attached Map A: Location Map. There are no urban service area boundaries or regional activity centers near the project site.

Map B. A recent vertical aerial photo of the site showing project boundaries which reasonably reflects current conditions. Specify the date the photo was taken.

See attached Map B: Aerial.

Map C. A topographic map with project boundaries identified (contour intervals from one to five feet should be determined in consultation with the appropriate regional planning council and other reviewing agencies at the pre-application conference). Delineate 100-year flood prone areas (including hurricane flood zones) and indicate major land surface features. If applicable, delineate the coastal construction control line.

See attached Map C: Topographic Map.

Map D. A land use map showing existing and approved uses on and abutting the site. The uses shown should include existing on-site land uses, recreational areas, utility and drainage easements, wells, right-of-way, and historic, archaeological, scientific and architecturally significant resources and lands held for conservation purposes.

See Map D-1: Future Land Use and D-2: Existing Land Use attached. There are no recreational areas, utility and drainage easements, wells, right-of-way, and historic, archaeological, scientific and architecturally significant resources existing on or abutting the project site. The wetland area within the project site will remain preserved.

Map E. A soils map of the site, with an identification of the source of the information. The use of a source other than the most recently published U.S.D.A. Soil Conservation Service (SCS) soil surveys should be determined in consultation with the appropriate regional planning council and other reviewing agencies at the pre-application conference.

See attached Map E: Soils.

Map F. A vegetation associations map indicating the total acreage of each association, based on the Level III vegetation types described in The Florida Land Use and Cover Classification System: A Technical Report, available from each regional planning council.

See attached Map F: Vegetation Associations.

Map G. A location map of all transects, trap grids, or other sampling stations used to determine the on-site status of significant wildlife and plant resources. Show location of all observed significant wildlife and plant resources, and show location of suitable habitat for all significant resources expected to be on-site.

See attached Map G: Wildlife and Plant Resources.

Map H. A master development plan for the site. Indicate proposed land uses and locations, development phasing, major public facilities, utilities, preservation areas, easements, right-of-way, roads, and other significant elements such as transit stops, pedestrian ways, etc. This plan will provide the basis for discussion in Question 10-A as well as other questions in the ADA.

See attached Map H: Master Development Plan and Map H-1: Survey.

The site is unique in that it is part of a Regional Activity Center (RAC) land use, which provides for a variety of land uses and is intended to foster mixed-use development with flexibility when locating land uses, as outlined in Question 10, part 2.

In addition, the city of Coconut Creek undertook a study in 2002 of the entire RAC (approximately 500 acres) resulting in the Main Street Design Guidelines (http://coconutcreek.net/PDF/Final_Design_Standards.pdf) which was adopted by ordinance. All development within the RAC must follow those guidelines which include rezoning and site plan processes. The guidelines identify the intent to provide for the development of a sustainable mixed-use downtown environment. For a more specific overview of the City's vision and intent for the area, refer to pages 1-2 of the Guidelines which can be found at the above link.

It is through the rezoning and site plan process that the Main Street @ Coconut Creek DRI will be better able to outline more specific siting elements noted above. To aid with identifying existing easements and elements, refer to Map series H-1: Survey. (Page 9-2 Revised September 2009 SIN1).

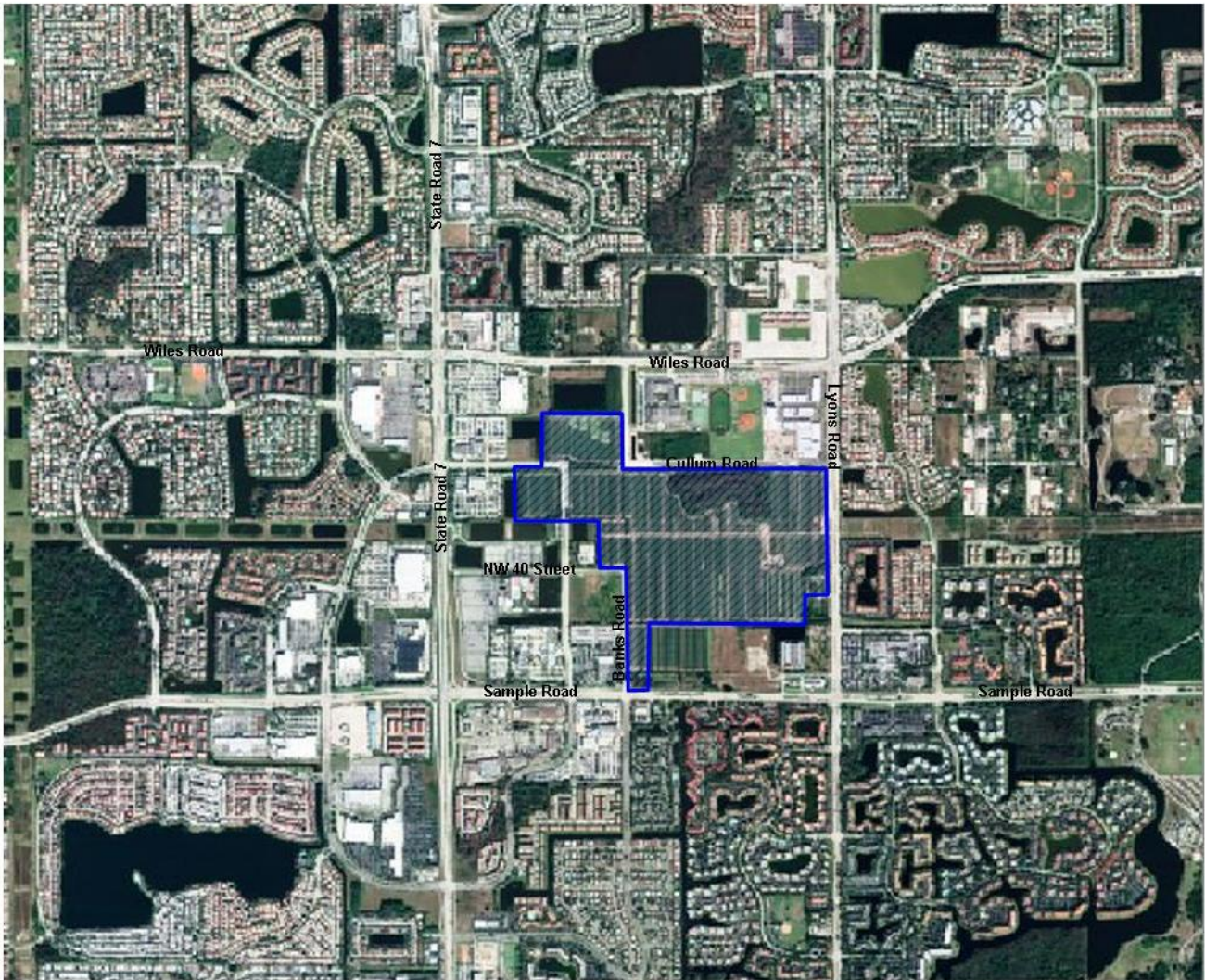
Map I. A master drainage plan for the site. Delineate existing and proposed: drainage basins, flow direction, water retention areas, drainage structures, flow route offsite, drainage easements, waterways, and other major drainage features. (This information may be presented on two separate maps (existing and proposed), if desired.)

See Map I: Master Drainage Map.

Map J. A map of the existing highway and transportation network within the study area. The study area includes the site, and locations of all transportation facilities which are substantially impacted. This area should be finally defined on the basis of the findings of the traffic impact analysis, including determinations of where the criteria for a substantial impact are met. Map J will become the base for the maps requested in Question 21.

See Map J within the Transportation section.

MAPS



Source: Broward County Property Appraiser, September 2009.

0 997 ft

MAP B

AERIAL

MAIN STREET @ COCONUT CREEK DRI

N ↑
March 27, 2009
Revised 09/19/09

Leigh Robinson Kerr
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Ph: 954-467-6308 Fax: 954-467-6309

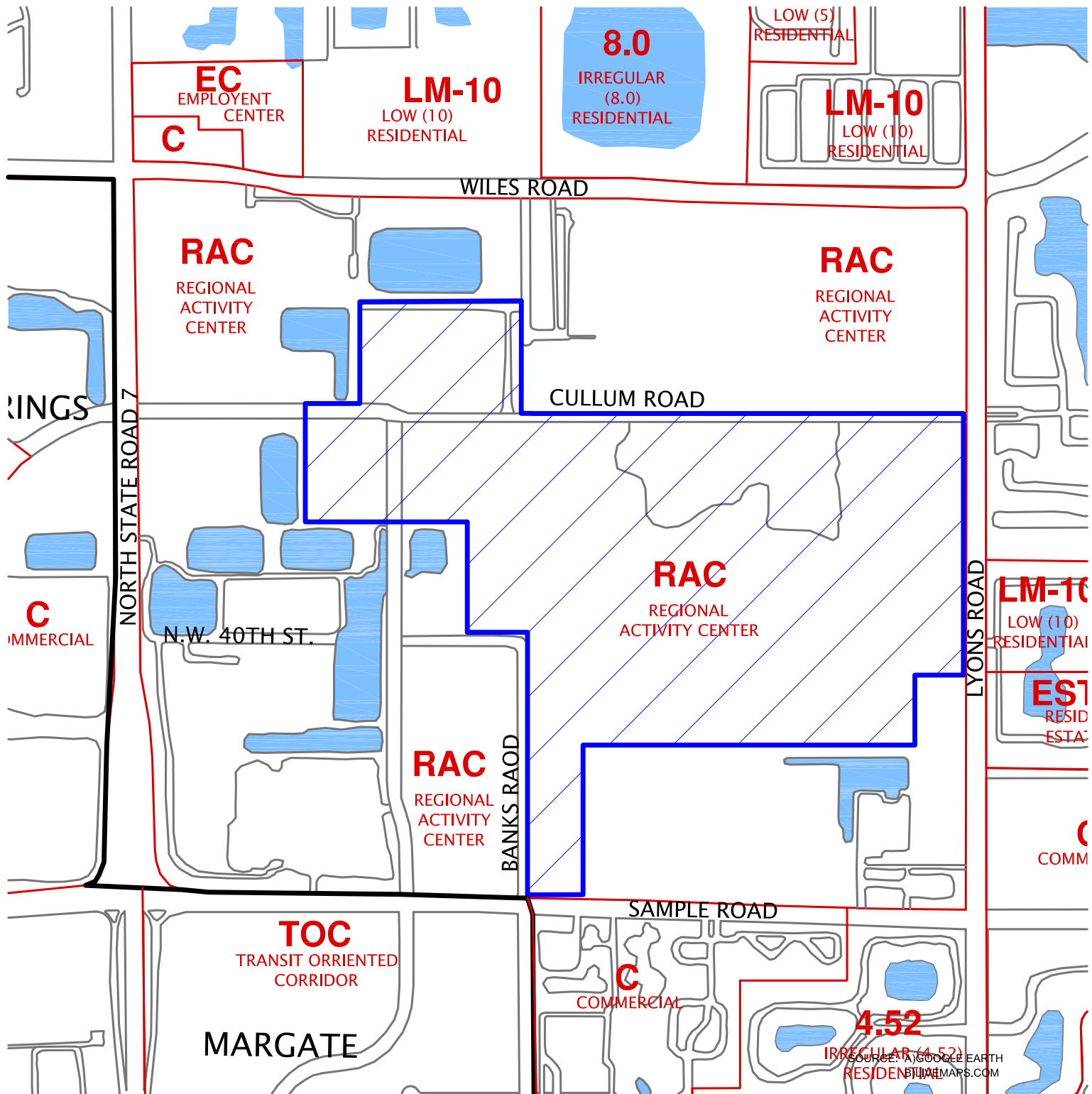


EXHIBIT D

EXISTING LAND USE

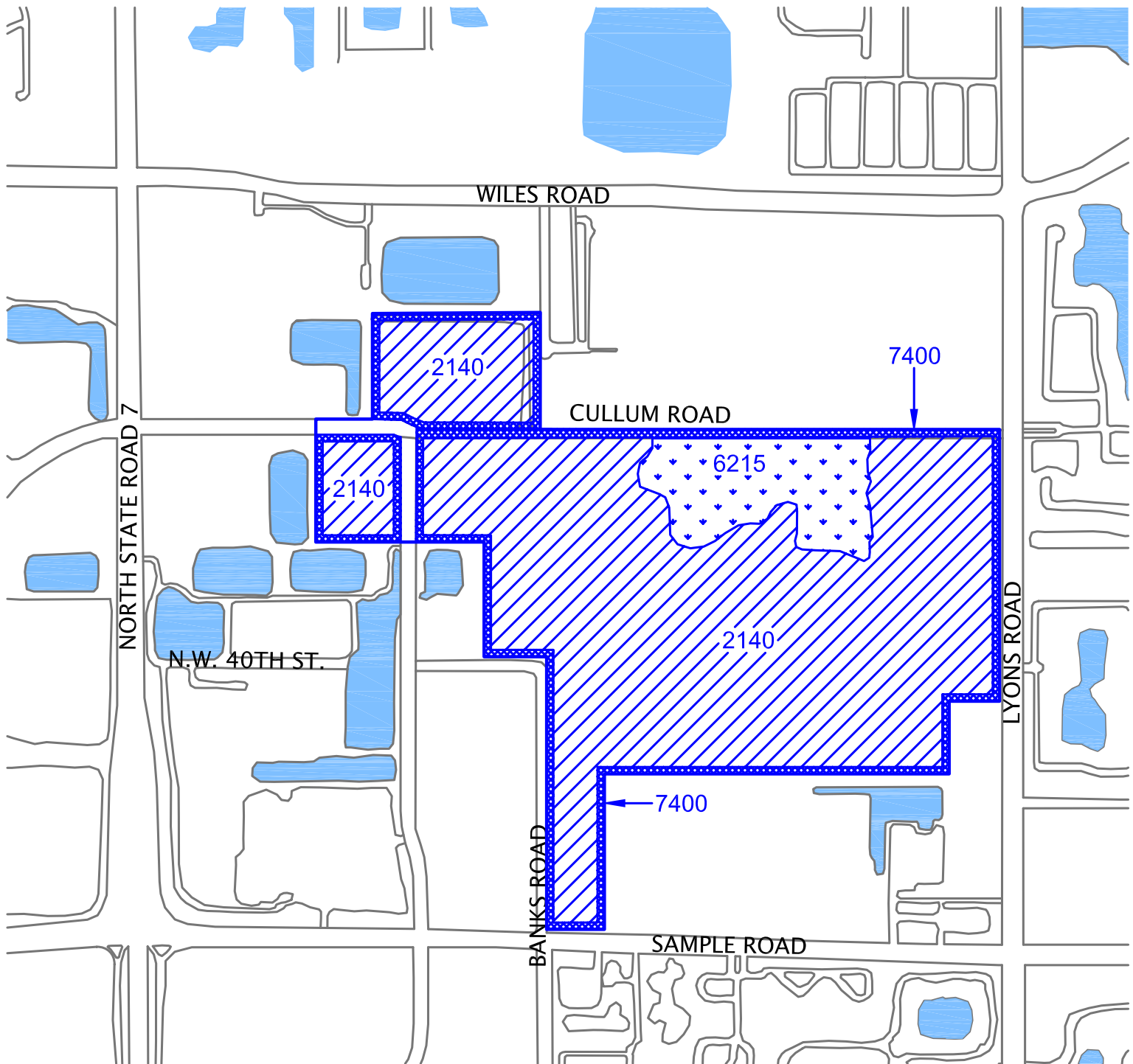
MAIN STREET @
COCONUT CREEK DRI



SCALE: 1:15,000
DATE: SEPTEMBER 15, 2009

Leigh Robinson **Kerr
& Associates, Inc.**

PLANNING—ZONING—LAND USE
808 E. Las Olas Blvd. — Suite 104
Fort Lauderdale, Florida 33301
(954) 467-6308



LEGEND

-  FLUCCS 2140 - ROW CROPS (±128.7ac)
-  FLUCCS 6215 - CYPRESS-MIXED HARDWOOD (±16.3ac)
-  FLUCCS 7400 - DISTURBED UPLAND (±12.0ac)

SOURCE: A)GOOGLE EARTH
B)LIVEMAPS.COM

EXHIBIT F

VEGETATION ASSOCIATION MAP

MAIN STREET @
COCONUT CREEK DRI



SCALE: 1:10,000
DATE: DECEMBER 2, 2008

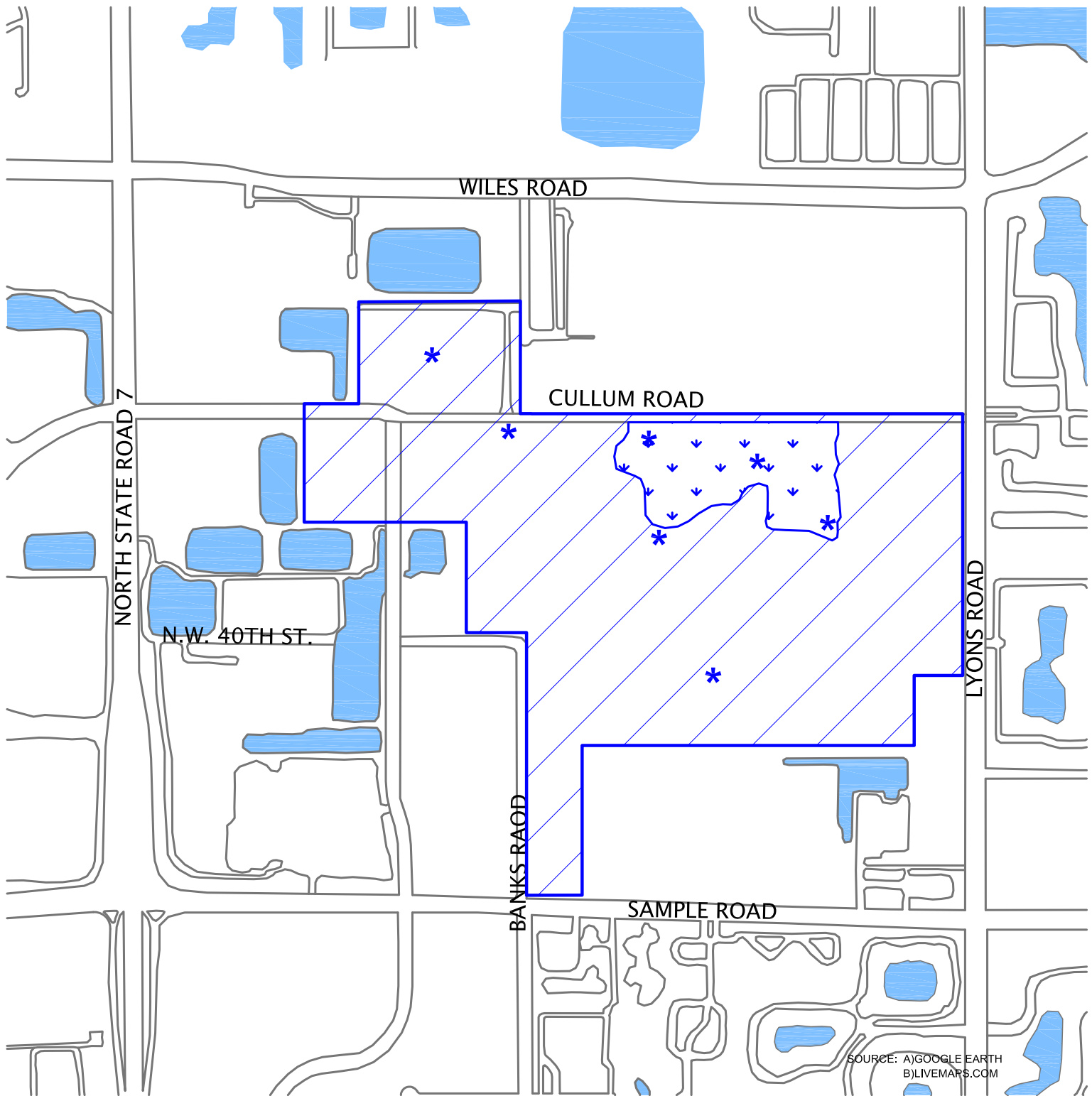


EXHIBIT G

WILDLIFE AND PLANT RESOURCES MAP

MAIN STREET @
COCONUT CREEK DRI



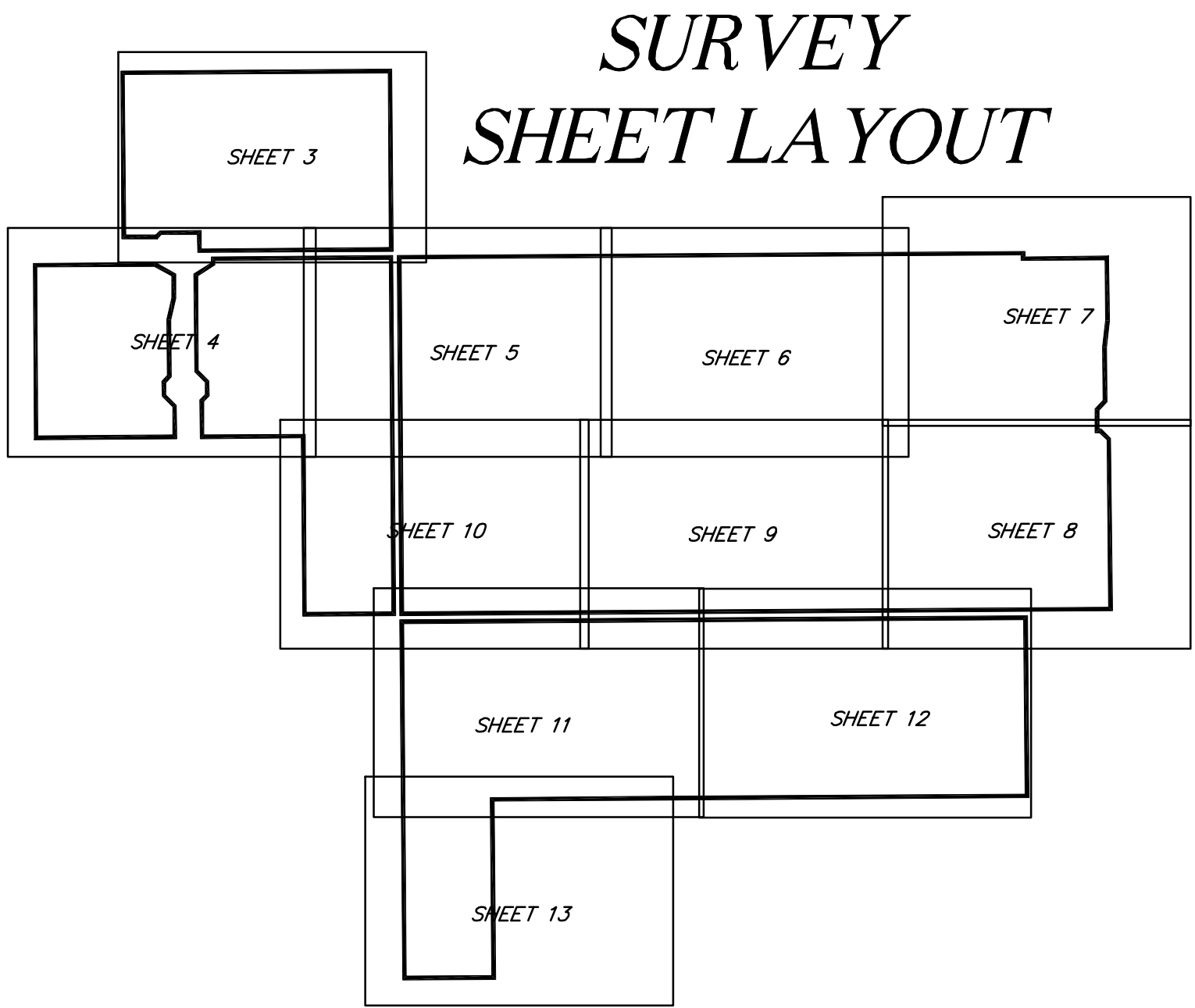
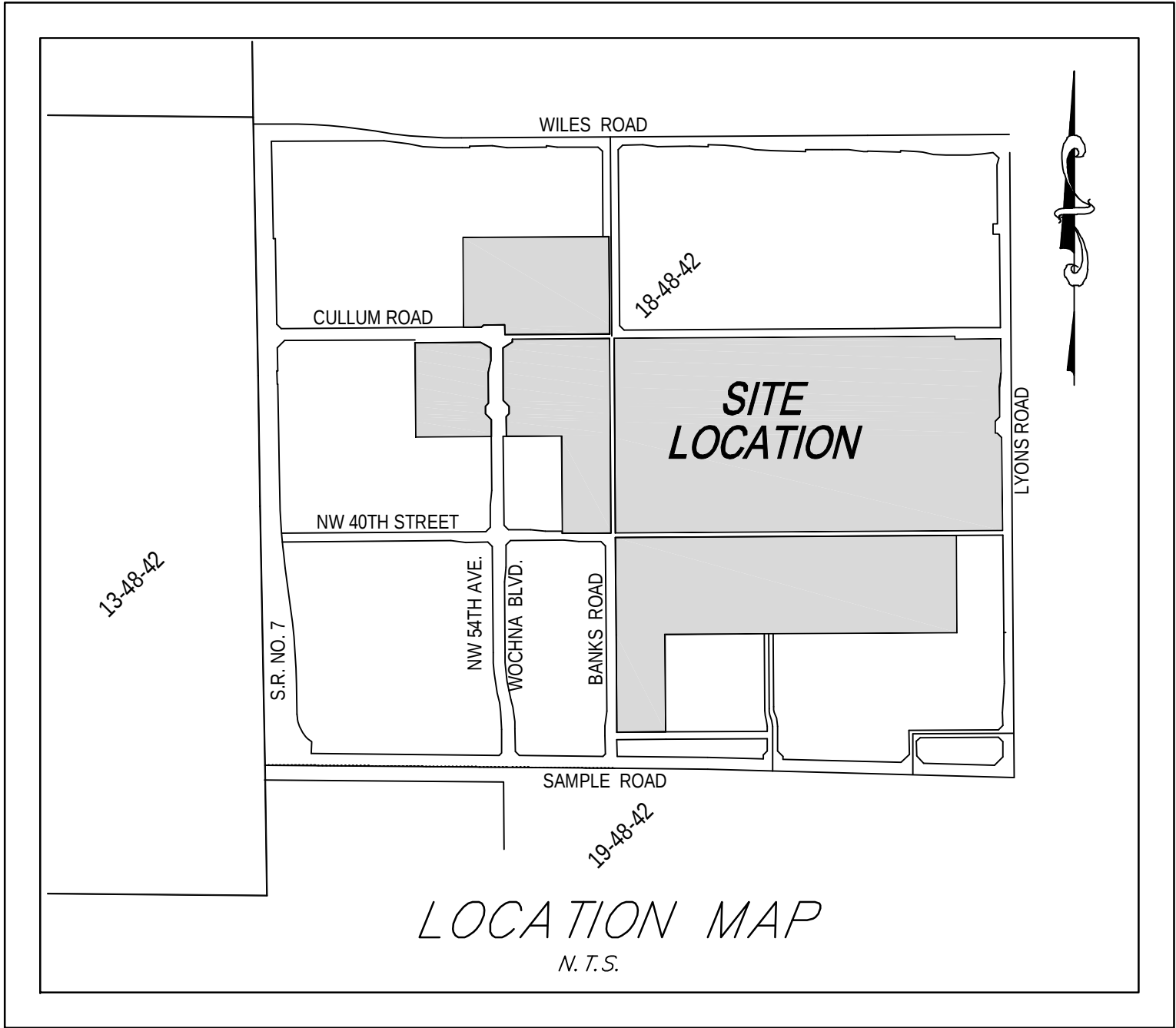
SCALE: 1:10,000
DATE: DECEMBER 2, 2008

SKETCH OF SURVEY
ALTA/ACSM LAND TITLE SURVEY

TITLE COMMITMENT NOTES:

THE LANDS SHOWN HEREON ARE SUBJECT TO THE FOLLOWING DOCUMENTS (UNLESS OTHERWISE NOTED BELOW) CONTAINED IN SCHEDULE B-II, OF THE COMMITMENT FORM ISSUED BY LAWYERS TITLE INSURANCE CORPORATION, ORDER NUMBER 2412293, WITH AN EFFECTIVE DATE OF MAY 22, 2008 AT 8:00 A.M.

7. MATTERS SET FORTH ON PLAT OF PALM BEACH FARMS CO. PLAT NO. 3, AS PER PLAT BOOK 2, PAGE 54, OF THE PALM BEACH COUNTY RECORDS, SAID LANDS SITUATE, LYING AND BEING IN BROWARD COUNTY, FLORIDA; AS AFFECTED BY NOTICE OF WITHDRAWAL OF PLATTED ROAD, STREETS, AND OTHER UNEXERCISED RIGHT, RECORDED IN OFFICIAL RECORD BOOK 6717, PAGE 501.
8. PHOSPHATE, MINERALS, METALS AND PETROLEUM RESERVATIONS AND RIGHTS IN FAVOR OF THE STATE OF FLORIDA, TOGETHER WITH RESERVATION OF AN EASEMENT FOR STATE ROAD RIGHT OF WAY, AS SET FORTH IN THE DEED FROM THE TRUSTEES OF THE INTERNAL IMPROVEMENT FUND, RECORDED IN DEED BOOK 500, PAGE 364, AS TO TRACT 54. (DOES AFFECT TRACT 54 OF THE SUBJECT PROPERTY BUT IS NOT PLOTTABLE)
9. RESERVATION BY THE COUNTY OF BROWARD OF AN EASEMENT FOR ROAD RIGHT OF WAY, AS SET FORTH IN COUNTY DEED RECORDED IN DEED BOOK 536, PAGE 310, AS TO TRACT 55. (DOES AFFECT TRACT 55 OF THE SUBJECT PROPERTY BUT IS NOT PLOTTABLE)
10. ALL OIL, GAS, AND MINERAL RIGHTS, RIGHTS OF ENTRY AND/OR ACCESS, TOGETHER WITH OTHER RESERVATIONS SET FORTH IN THAT CERTAIN DEED FROM THE EVERGLADES DRAINAGE DISTRICT RECORDED IN DEED BOOK 556, PAGE 542, AS TO TRACT 55.(DOES AFFECT TRACT 55 OF THE SUBJECT PROPERTY BUT IS NOT PLOTTABLE)
11. RIGHT OF WAYS FOR SMALL LATERAL DITCHES IN FAVOR OF OTHER TRACTS, AS SET FORTH IN WARRANTY DEED RECORDED IN OFFICIAL RECORD BOOK 186, PAGE 560, AS TO TRACT 73. (DOES AFFECT TRACT 73 OF THE SUBJECT PROPERTY BUT IS NOT PLOTTABLE)
12. RIGHT OF WAY AGREEMENT WITH FLORIDA POWER & LIGHT COMPANY, RECORDED IN OFFICIAL RECORDS BOOK 1004, PAGE 379. (AS DEPICTED HEREON)
13. RIGHT OF WAY AGREEMENT WITH FLORIDA POWER & LIGHT COMPANY, RECORDED IN OFFICIAL RECORDS BOOK 2026, PAGE 797, AS TO TRACT 55. (AS DEPICTED HEREON) (ANCHORING FACILITIES NOT PLOTTABLE)
14. EASEMENTS GRANTED TO FLORIDA POWER & LIGHT COMPANY, RECORDED IN OFFICIAL RECORDS BOOK 2067, PAGE 212, AS TO TRACTS 33 AND 55. (AS DEPICTED HEREON)
15. ORDINANCE NO. 84-21, BY THE BOARD OF COUNTY COMMISSIONERS OF BROWARD COUNTY, FLORIDA, RECORDED IN OFFICIAL RECORDS BOOK 11572, PAGE 569. (DOES AFFECT TRACTS 33 THROUGH 40 OF THE SUBJECT PROPERTY BUT IS NOT PLOTTABLE)
16. ORDINANCE NO. 85-84, BY THE BOARD OF COUNTY COMMISSIONERS OF BROWARD COUNTY, FLORIDA, RECORDED IN OFFICIAL RECORDS BOOK 13142, PAGE 556. (DOES AFFECT TRACTS 33 THROUGH 40 OF THE SUBJECT PROPERTY BUT IS NOT PLOTTABLE)
17. RESOLUTION NO. 88-6 RECORDED IN OFFICIAL RECORDS BOOK 14748, PAGE 391; AND EDUCATIONAL MITIGATION AGREEMENT RECORDED OFFICIAL RECORDS BOOK 42279, PAGE 1596. (DOES AFFECT THE SUBJECT PROPERTY BUT IS NOT PLOTTABLE)
18. EASEMENTS GRANTED TO FLORIDA POWER & LIGHT COMPANY, RECORDED IN OFFICIAL RECORDS BOOK 14786, PAGE 172, AS TO TRACTS 33 AND 55. (AS DEPICTED HEREON)
19. RESOLUTION NO. 89-4525, BY THE BOARD OF COUNTY COMMISSIONERS OF BROWARD COUNTY, FLORIDA, RECORDED IN OFFICIAL RECORDS BOOK 17022, PAGE 838. (DOES AFFECT TRACTS 35 THROUGH 39 OF THE SUBJECT PROPERTY AS DEPICTED HEREON)
20. TERMS AND CONDITIONS OF THAT CERTAIN UNRECORDED LEASE DATED JUNE 1, 1993 DESCRIBED IN SUBORDINATION AGREEMENT RECORDED IN OFFICIAL RECORDS BOOK 21898, PAGE 727, AS TO TRACT 42. (AS DEPICTED HEREON)
21. PERPETUAL EASEMENT GRANTED TO THE STATE OF FLORIDA, DEPARTMENT OF TRANSPORTATION, RECORDED IN OFFICIAL RECORDS BOOK 21898, PAGES 729 THROUGH 743, INCLUSIVE, AND OFFICIAL RECORDS BOOK 22172, PAGE 408, AS TO TRACT 42. (AS DEPICTED HEREON)
22. TERMS AND CONDITIONS OF THAT CERTAIN UNRECORDED LEASE DATED JUNE 1, 1993 DESCRIBED IN SUBORDINATION AGREEMENT RECORDED IN OFFICIAL RECORDS BOOK 21899, PAGE 132, AS TO TRACT 24. (AS DEPICTED HEREON)
23. PERPETUAL EASEMENT GRANTED TO THE STATE OF FLORIDA, DEPARTMENT OF TRANSPORTATION, RECORDED IN OFFICIAL RECORDS BOOK 21899, PAGES 134 THROUGH 150, INCLUSIVE, AS TO TRACT 24. (AS DEPICTED HEREON)
24. TERMS AND CONDITIONS OF THAT CERTAIN UNRECORDED LEASE DATED JUNE 1, 1993 DESCRIBED IN SUBORDINATION AGREEMENT RECORDED IN OFFICIAL RECORDS BOOK 21899, PAGE 151, AS TO TRACTS 41 AND 42. (AS DEPICTED HEREON)
25. PERPETUAL EASEMENT GRANTED TO THE STATE OF FLORIDA, DEPARTMENT OF TRANSPORTATION, RECORDED IN OFFICIAL RECORDS BOOK 21899, PAGES 153 THROUGH 169, INCLUSIVE, AS TO TRACTS 41 AND 42. (AS DEPICTED HEREON)
26. TERMS AND CONDITIONS OF THAT CERTAIN UNRECORDED LEASE DATED JUNE 1, 1993 DESCRIBED IN SUBORDINATION AGREEMENT RECORDED IN OFFICIAL RECORDS BOOK 21899, PAGE 824, AS TO TRACT 24. (DOES NOT AFFECT THE SUBJECT PROPERTY)
27. TERMS AND CONDITIONS OF THAT CERTAIN UNRECORDED LEASE DATED JUNE 1, 1993 DESCRIBED IN SUBORDINATION AGREEMENT RECORDED IN OFFICIAL RECORDS BOOK 21899, PAGE 843, AS TO TRACT 42. (DOES NOT AFFECT THE SUBJECT PROPERTY)
28. ORDINANCE NO. 110-97, BY THE CITY COMMISSION OF THE CITY OF COCONUT CREEK, FLORIDA, RECORDED IN OFFICIAL RECORDS BOOK 26295, PAGE 242, AS TO TRACT 24. (DOES AFFECT TRACT 24 OF THE SUBJECT PROPERTY BUT IS NOT PLOTTABLE)
29. ORDINANCE NO. 2001-145, BY THE CITY COMMISSION OF THE CITY OF COCONUT CREEK, FLORIDA, RECORDED IN OFFICIAL RECORDS BOOK 32498, PAGE 315, AS TO TRACT 24. (DOES AFFECT TRACT 24 OF THE SUBJECT PROPERTY BUT IS NOT PLOTTABLE)
30. ORDINANCE NO. 2005-42, RECORDED IN OFFICIAL RECORDS BOOK 41179, PAGE 1606, AND ORDINANCE NO. 2005-43, RECORDED IN OFFICIAL RECORDS BOOK 41179, PAGE 1614, BY THE BOARD OF COUNTY COMMISSIONERS OF BROWARD COUNTY, FLORIDA REGARDING THE BROWARD COUNTY COMPREHENSIVE PLAN. (DOES AFFECT THE SUBJECT PROPERTY BUT IS NOT PLOTTABLE)



LEGAL DESCRIPTION:

TRACTS 24, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 48, 49, 50, 51, 52, 53, 54, 55, 57, 58, 59, 60, AND 73, BLOCK 89, PALM BEACH FARMSCO, PLAT NO. 3, AS PER MAP OF PLAT THEREOF RECORDED IN PLAT BOOK 2, PAGE 54, OF THE PUBLIC RECORDS OF PALM BEACH, FLORIDA, SAID LANDS SITUATE, LYING AND BEING IN BROWARD COUNTY, FLORIDA;

LESS AND EXCEPT THE NORTH 20 FEET OF TRACTS 33 AND 42 CONVEYED TO BROWARD COUNTY BY WARRANTY DEEDS RECORDED IN OFFICIAL RECORDS BOOK 24, PAGE 594 AND OFFICIAL RECORDS BOOK 14, PAGE 599;

LESS THOSE PORTIONS OF TRACTS 33 AND 55 CONVEYED TO THE BROWARD COUNTY EXPRESSWAY AUTHORITY, AND BROWARD COUNTY, FLORIDA, BY ORDER OF TAKING RECORDED IN OFFICIAL RECORDS BOOK 13966, PAGE 480;

LESS THAT PORTION OF TRACT 24 KNOWN AS PARCEL NO. 101, CONVEYED TO THE STATE OF FLORIDA, DEPARTMENT OF TRANSPORTATION, BY WARRANTY DEEDS RECORDED IN OFFICIAL RECORDS BOOK 21899, PAGES 826 THROUGH 842, INCLUSIVE AND THAT PORTION OF TRACT 42 KNOWN AS PARCEL NO. 102, CONVEYED TO THE STATE OF FLORIDA, DEPARTMENT OF TRANSPORTATION, BY WARRANTY DEEDS RECORDED IN OFFICIAL RECORDS BOOK 21899, PAGES 845 THROUGH 861, INCLUSIVE, ALL OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA;

AND LESS ALL PREVIOUSLY DEEDED OR DEDICATED ROAD RIGHTS OF WAY.

SURVEYOR'S REPORT & NOTES:

1. THE DESCRIPTION SHOWN HEREON IS BASED ON THE TITLE COMMITMENT PROVIDED BY THE CLIENT JPGP, L.L.C.
2. ADDITIONS OR DELETIONS TO THE SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
3. THIS SURVEY DRAWING WAS PREPARED FOR THE EXCLUSIVE USE OF JPGP, L.L.C., OR THE PARTIES CERTIFIED TO FOR THE EXPRESS PURPOSE STATED HEREON AND/OR CONTAINED IN THE CONTRACT AND AFOREMENTIONED CLIENT FOR THIS PROJECT.
4. REUSE OF THIS SURVEY FOR PURPOSES OTHER THAN THAT WHICH IT WAS INTENDED, WITHOUT THE WRITTEN PERMISSION OF THE UNDERSIGNED SURVEYOR & MAPPER OR CRAVEN THOMPSON & ASSOCIATES, INC., WILL BE AT THE RE-USERS SOLE RISK AND WITHOUT ANY LIABILITY TO THE SURVEYOR OR COMPANY. NOTHING SHOWN HEREON SHALL BE CONSTRUED TO GIVE ANY RIGHTS OR BENEFITS TO ANYONE OTHER THAN THOSE CERTIFIED TO.
5. THIS SURVEY IS LIMITED TO THE LOCATION OF ABOVE GROUND IMPROVEMENTS ONLY. UNDERGROUND UTILITIES, FOUNDATIONS OR OTHER BURIED ENCROACHMENTS WERE NOT LOCATED IN CONNECTION WITH THIS SURVEY UNLESS OTHERWISE NOTED.
6. THE EXPECTED USE OF THIS SURVEY AND MAP IS FOR COMMERCIAL/HIGH RISK, THEREFORE THIS SURVEY IS CLASSIFIED AS COMMERCIAL/HIGH RISK LINEAR AND EXCEEDS THE MINIMUM RELATIVE DISTANCE ACCURACY OF 1 FOOT IN 10,000 FEET AS REQUIRED BY THE FLORIDA MINIMUM TECHNICAL STANDARDS (61G17-6, F.A.C.). THE ACCURACY OF CONTROL SURVEY DATA HAS BEEN VERIFIED BY REDUNDANT MEASUREMENTS OR TRAVERSE CLOSURES.
7. THIS MAP IS INTENDED TO BE DISPLAYED AT A SCALE OF 1"=200' OR SMALLER FOR SHEET 2 AND A SCALE OF 1"=40' OR SMALLER FOR SHEETS 3-13. HORIZONTAL FEATURE LOCATIONS ARE TO THE CENTER OF THE SYMBOL AND MAY BE ENLARGED FOR CLARITY.
8. THE ELEVATIONS SHOWN HEREON ARE RELATIVE TO NATIONAL GEODETIC VERTICAL DATUM OF 1929 AND BASED ON A THREE WIRE LEVEL LOOP BENCH RUN AROUND THE OVERALL PROJECT USING AS A BASIS OF ELEVATION: BROWARD COUNTY BENCHMARK NUMBER 2731, DESCRIBED AND FOUND AS A BRASS DISC STAMPED (BM #70) AT THE SE CORNER OF TELEPHONE CONTROL BOX CONCRETE SLAB +/- 92 FEET WEST OF CENTERLINE LYONS ROAD AND +/- 46 FEET SOUTH OF COCOPLUM CIRCLE. EXISTING BENCHMARK ELEVATION = 14.960 (THIRD ORDER).
9. BEARINGS SHOWN HEREON ARE RELATIVE TO GRID NORTH, STATE PLANE COORDINATES, FLORIDA EAST ZONE, NAD83 WITH 1990 ADJUSTMENT AND BASED ON A LINE BETWEEN THE FOUND MONUMENTATION AT THE SOUTH QUARTER (S1/4) CORNER AND THE SOUTHEAST CORNER OF SECTION 18-50-42 AS DELINEATED HEREON HAVING A BEARING OF **NORTH 88° 28' 34" WEST**
10. THE MEASUREMENTS SHOWN HEREON WERE OBTAINED UTILIZING A "LEICA TC-800 SERIES" TOTAL STATION AND "TDS" DATA COLLECTION SOFTWARE. THE ACCURACY OF CONTROL SURVEY DATA HAS BEEN VERIFIED BY REDUNDANT MEASUREMENTS OR TRAVERSE CLOSURES. A COMPLETE CLOSED TRAVERSE LOOP WAS RUN IN THE FIELD EAST ALONG SAMPLE ROAD, NORTH ALONG LYONS ROAD, WEST ALONG WILES ROAD, AND SOUTH ALONG STATE ROAD 7. ONCE CLOSED AND BALANCED SEPARATE INTERIOR CLOSED TRAVERSES WERE RUN ALONG BANKS ROAD, NW 40TH STREET, NW 54TH AVENUE, CULLUM ROAD, AND THROUGH THE CENTER OF THE FPL TRANSMISSION LINES FROM NW 54TH AVENUE TO LYONS ROAD.
11. THE BOUNDARY SHOWN HEREON WAS CALCULATED FROM INFORMATION ON THE RECORDED PLAT OF PALM BEACH FARMS CO. PLAT NO. 3, PLAT BOOK 2, PAGES 45-54, FOUND MONUMENTATION ON SECTION LINES, RIGHT-OF-WAY LINES, AND OTHER RECORDED PLATS SURROUNDING THIS SITE AND DELINEATED HEREON. SECTION CORNERS FOUND AND USED TO DETERMINE LOCATIONS AND GRID BEARINGS AND DISTANCE ARE AS FOLLOWS: SE CORNER AND S 1/4 CORNER OF SECTION 18-48-42 AS DELINEATED HEREON IN SAMPLE ROAD. ALSO FOUND AND USED WERE THE W 1/4 CORNER AND NW CORNER OF SAID SECTION 18, AND THE EAST 1/4 CORNER AND THE NE CORNER OF SECTION 13-48-41 ALL IN STATE ROAD 7 TO THE WEST OF THIS SURVEY.
12. DETAILS A, B, C, AND D REFLECTED ON SHEETS 2 AND 13 OF THIS SURVEY REFLECT DIFFERENCES FOUND BETWEEN THE FIELD LOCATIONS OF THE TRACT LINES FROM THE UNDERLYING PLAT OF PALM BEACH FARMS CO. PLAT NO. 3, RECORDED PLATS AND F.D.O.T. RIGHT-OF-WAY MAPS AND SURVEY CONTROL SURROUNDING THIS PROPERTY. BASED OF OUR FINDINGS WE MADE A BEST FIT DETERMINATION OF THE LANDS DESCRIBED WITH THE LANDS REMAINING BETWEEN THE RECORDED PLATS AND RIGHTS-OF-WAY OF RECORD.
13. ALL BOUNDARY INFORMATION SHOWN ON SHEET 2 OF 13, SHEETS 3-13 DELINEATE TOPOGRAPHIC DETAILS AND DIFFERENCES FOUND ON THE SITE
14. THE SUBJECT PROPERTY FALLS WITHIN FLOOD ZONE "X" BASED ON FEMA FLOOD ZONE MAP PANEL NUMBER 12011C115-F (8/92)

SURVEYOR'S CERTIFICATE

CERTIFIED TO: JPGP, LLC, LEGACY BANK OF FLORIDA, INVESTORS TITLE ESCROW & EXCHANGE SERVICES, LLC, LAWYERS TITLE INSURANCE CORPORATION/LAND AMERICA LAWYERS TITLE

I HEREBY CERTIFY TO THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE "MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS," JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS IN 2005, AND INCLUDES ITEMS 1-4, 7a, 8-10 AND 11a OF TABLE A, PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA AND NSPS AND IN EFFECT ON THE DATE OF THIS CERTIFICATION. UNDERSIGNED FURTHER CERTIFIES THAT IN MY PROFESSIONAL OPINION, AS A LAND SURVEYOR REGISTERED IN THE STATE OF FLORIDA, THE MAXIMUM RELATIVE POSITIONAL ACCURACY FOR SUBJECT PROPERTY BOUNDARY IS WITHIN 0.10 FEET. I FURTHER CERTIFY THAT THIS SKETCH OF SURVEY AS DEFINED UNDER RULES 61G17-6.002(10)(B)&(K), 61G17-6.003 & 61G17-6.004(2)&(12) AND OTHER PERTINENT DATA SHOWN HEREON, OF THE ABOVE DESCRIBED PROPERTY WAS MADE ON THE GROUND, CONFORMS TO THE MINIMUM TECHNICAL STANDARDS FOR LAND SURVEYING IN THE STATE OF FLORIDA, AS OUTLINED IN CHAPTER 61G17-6, (FLORIDA ADMINISTRATIVE CODE) AS ADOPTED BY THE DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION, BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN SEPTEMBER, 1981, PURSUANT TO CHAPTER 472.027, FLORIDA STATUTES AND THAT SAID SURVEY IS TRUE AND CORRECT TO THE BEST OF OUR KNOWLEDGE AND BELIEF AS SURVEYED UNDER MY RESPONSIBLE DIRECTION IN AUGUST AND SEPTEMBER, 2008.

ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES AS STATED UNDER RULE 61G17-6.003(3)(G) F.A.C. ONLY COPIES WITH THE ORIGINAL RAISED SEAL AND SIGNATURE OF A FLORIDA LICENSED SURVEYOR AND MAPPER ARE VALID AS STATED UNDER RULE 61G17-7.002(1) F.A.C.

DATE OF LAST FIELD WORK SEPTEMBER 24, 2008
ADDITIONAL ELEVATION S MEASURED IN FIELD
FEBRUARY 16-18 AND 27, 2009.

CRAVEN THOMPSON & ASSOCIATES, INC.,
LICENSED BUSINESS NO. LB 271

RICHARD D. PRYCE, PSM
PROFESSIONAL SURVEYOR AND MAPPER
STATE OF FLORIDA REGISTRATION NO. 4038

NOTE: The undersigned and CRAVEN THOMPSON & ASSOCIATES, INC. make no representations or guarantees as to the information reflected hereon pertaining to easements, right-of-way, set back lines, reservations, agreements and other similar matters, and this instrument is not intended to reflect or set forth all such matters. Such information should be obtained and further, confirmed by others through appropriate title verification.
NOTE: Lands shown hereon were not abstracted for right-of-way and/or easements of record.

DATE:	9-29-08
SCALE:	200'
DRAWN BY:	DM
CHECKED BY:	RDP
FIELD BOOK:	2339
PAGE(S):	1-75

CRAVEN • THOMPSON AND ASSOCIATES, INC.
ENGINEERS • PLANNERS • SURVEYORS
3563 N.W. 53RD STREET, FORT LAUDERDALE, FLORIDA 33309
FAX: (954) 739-6409 TEL.: (954) 739-6400
FLORIDA LICENSED ENGINEERING SURVEYING & MAPPING BUSINESS NO. 271
FLORIDA LICENSED LANDSCAPE ARCHITECTURE BUSINESS NO. C000114
MATERIAL SHOWN HEREON IS THE PROPERTY OF CRAVEN • THOMPSON & ASSOCIATES, INC. AND SHALL NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM.
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COCONUT CREEK, DRI SURVEY

PREPARED FOR:
JPGP, LLC.
ALTA/ACSM LAND TITLE SURVEY

PROJECT NO.
08-0049

S-1
SHEET 1 OF 13

SKETCH OF SURVEY ALTA/ACSM LAND TITLE SURVEY

LEGEND

CALC. CALCULATED
(CFT) CALCULATED FROM TRAVERSE
CL. CENTERLINE
CO. COUNTY
F.D.O.T. FLORIDA DEPARTMENT OF TRANSPORTATION
FND FOUND
F.P.&L. FLORIDA POWER & LIGHT
I.P. IRON PIPE
I.R. IRON ROD
(M) MEASURED
LB LICENSED BUSINESS
N&T NAIL & TAB
O/S OFFSET
O.R.B. OFFICIAL RECORDS BOOKS
P.B.C.R. PALM BEACH COUNTY RECORDS
PB PLAT BOOK
PG PAGE
P.R.M. PERMANENT REFERENCE MARKER
R/W RIGHT-OF-WAY
TYP. TYPICAL

- ⑥ SET 5/8" IRON ROD CAP LB271 (UNLESS OTHERWISE NOTED)
- ⑦ SET NAIL&TAB/LB#271
- △ FOUND NAIL / SPIKE
- PERMANENT REFERENCE MARKER

NOTE: PLATS DESIGNATED AS PB 000-00 INDICATE PLAT BOOK AND PAGE ALL AS RECORDED IN THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

SCALE: 1"=200'

SURVEYOR'S NOTE:
ALL BOUNDARY INFORMATION SHOWN ON SHEET 2 OF 13, SHEETS 3-13 DELINEATE TOPOGRAPHIC DETAILS AND DIFFERENCES FOUND ON THE SITE

NOTE: The undersigned and CRAVEN & THOMPSON & ASSOCIATES, INC. make no representations or warranties as to the information reflected herein pertaining to easements, right-of-way, set back lines, reservations, agreements and other similar matters, and this instrument is not intended to reflect or set forth all such matters. Such information should be obtained and further confirmed by others through appropriate title verification.
NOTE: Lands shown herein were not abstracted for right-of-way and/or easements of record.

DATE:	9-29-08
SCALE:	1"=200'
DRAWN BY:	DM
CHECKED BY:	RDP
REVISION:	3 REVISED: ADJUST ELEV. FB 2446 02-08
REVISION:	2 REVISED: CONVENTIONAL SURVEYING & MAPPING BUSINESS, INC. 271
REVISION:	1 REVISED: TO ADD ADDITIONAL INFORMATION. RDP 11-11-08
FIELD BOOK:	1 FLD BK: 2346/71-42 2347/13-78
PAGE(S):	1-75

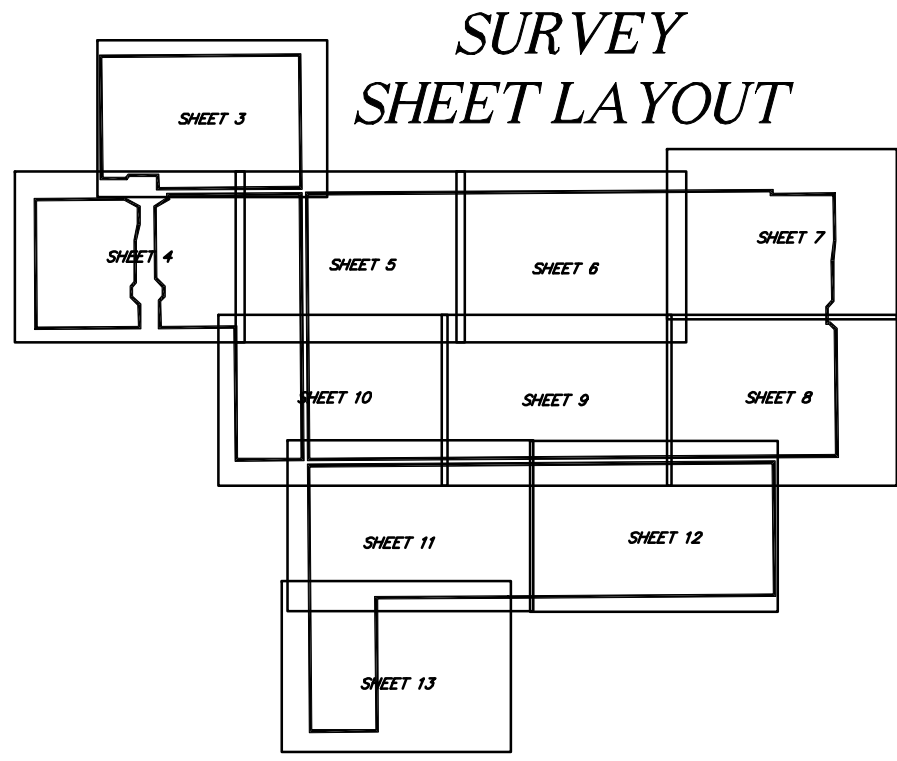
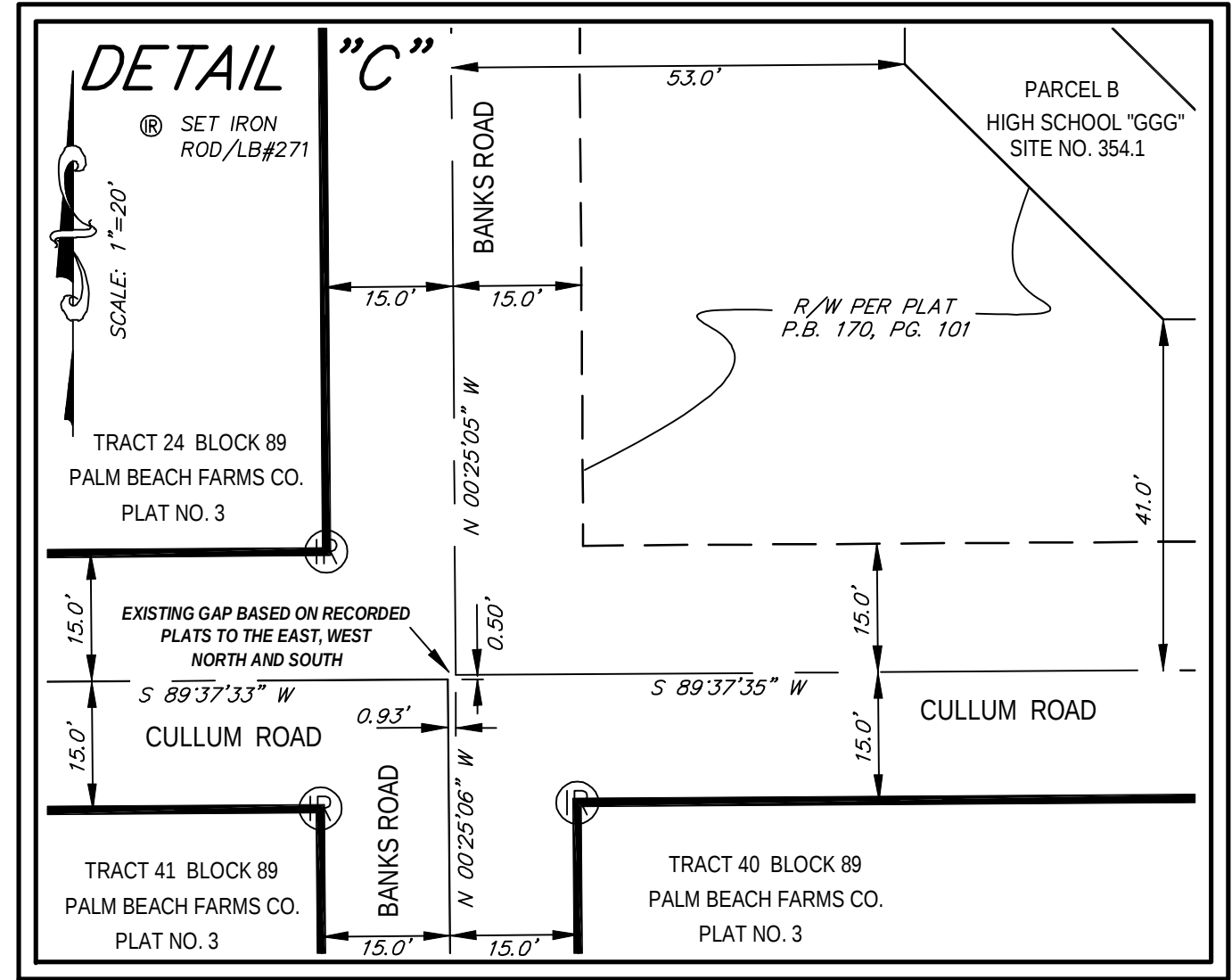
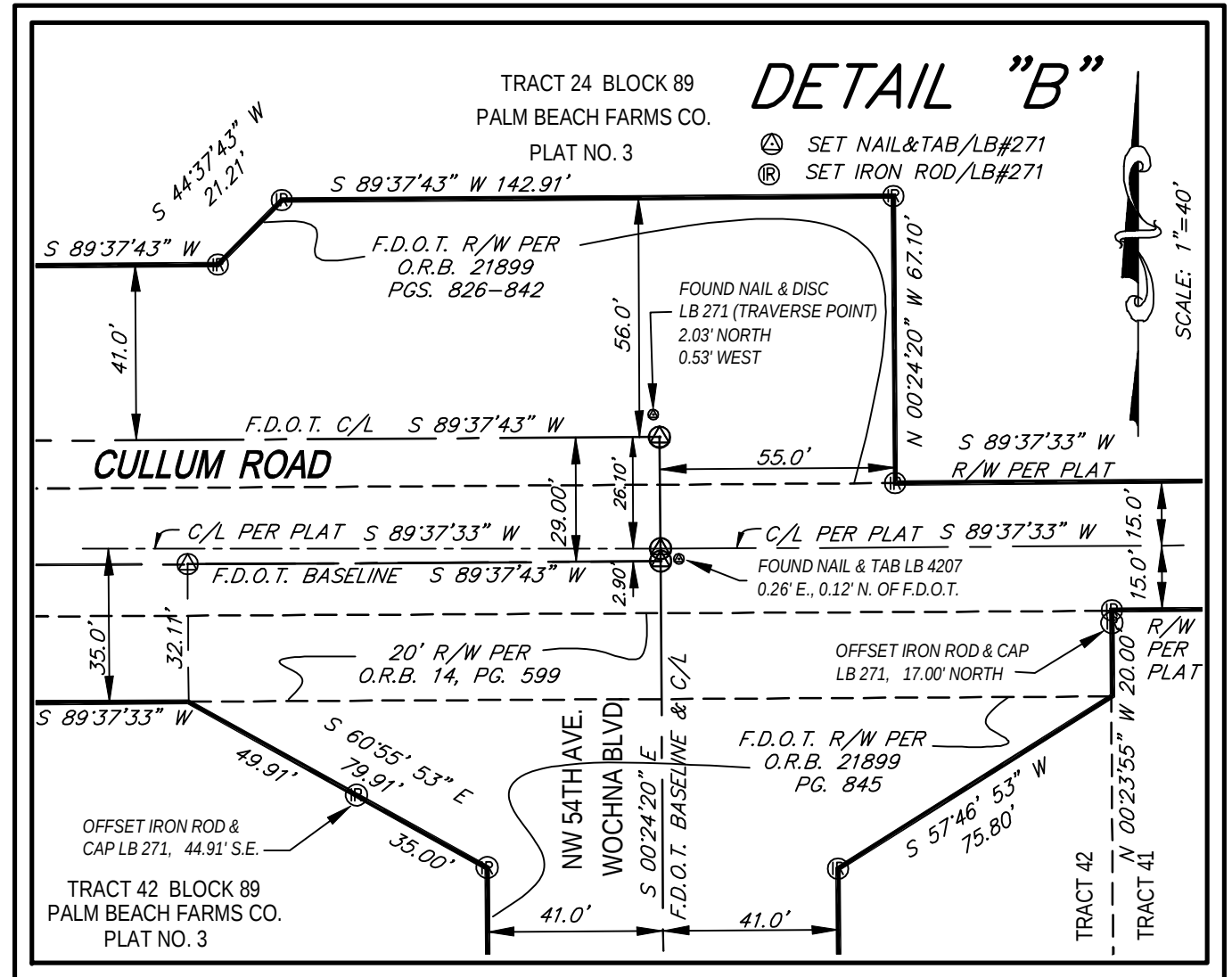
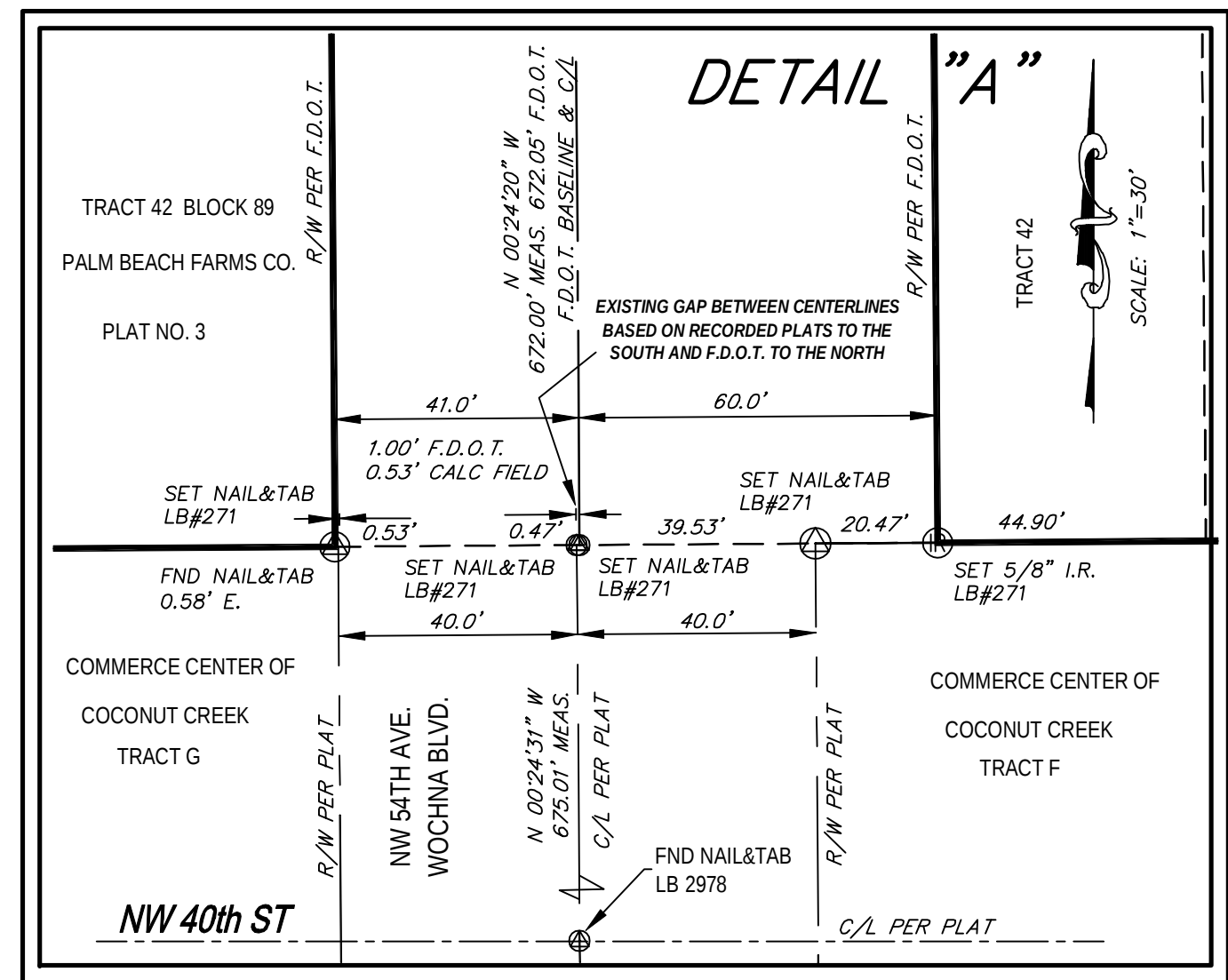
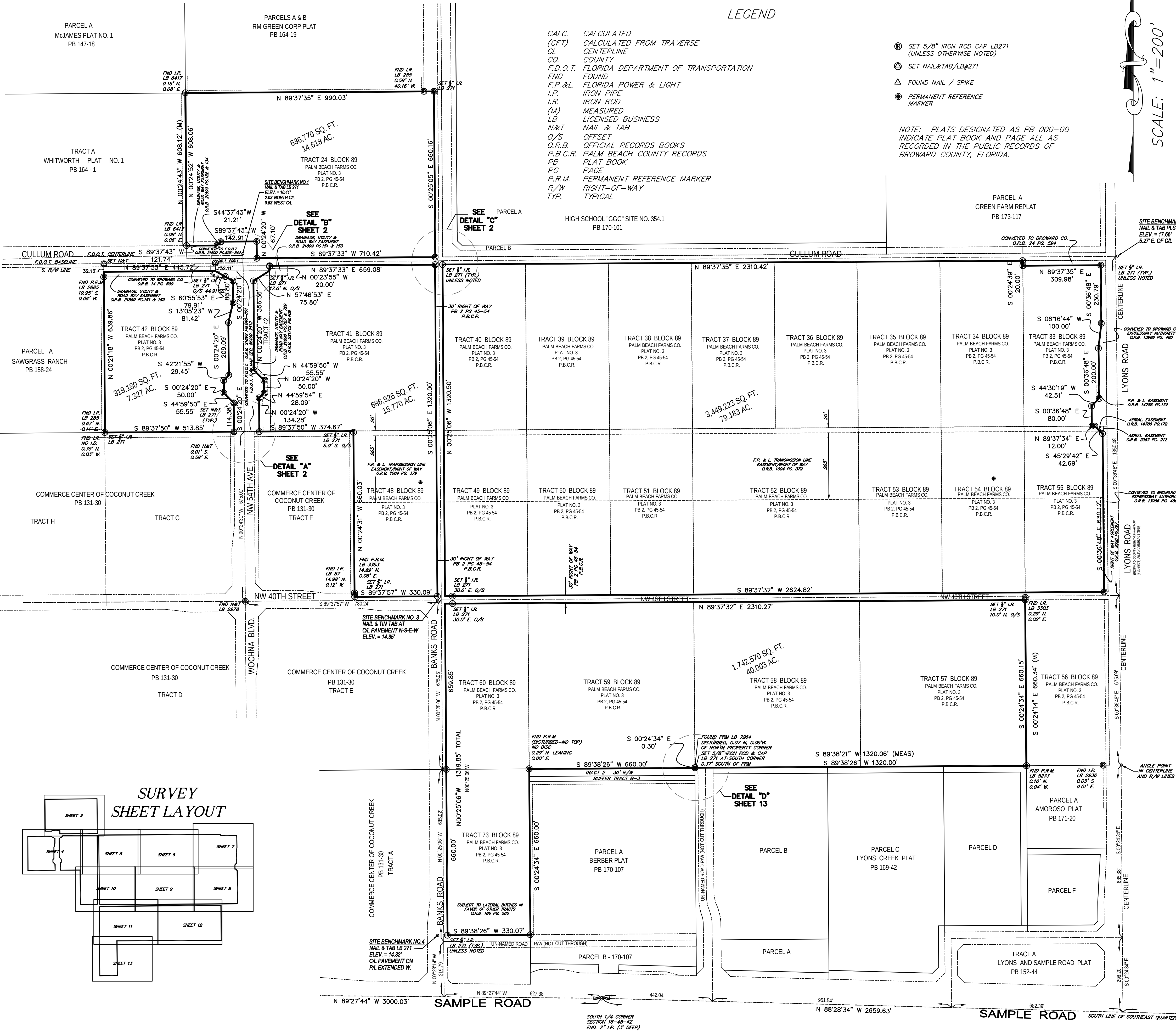
CRAVEN & THOMPSON AND ASSOCIATES, INC.
ENGINEERS • PLANNERS • SURVEYORS
3563 N.W. 53RD STREET, FORT LAUDERDALE, FLORIDA 33309
TEL: (954) 739-6409
FAX: (954) 739-6400
FLORIDA LICENSED LANDSCAPE ARCHITECTURE BUSINESS NO. 000011
FLORIDA LICENSED SURVEYING & MAPPING BUSINESS NO. 271
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COCONUT CREEK, DRI SURVEY

PREPARED FOR:
JPGP, LLC.

PROJECT NO.
08-0049

S-2
SHEET 2 OF 13



SKETCH OF SURVEY ALTA/ACSM LAND TITLE SURVEY

SURVEYOR'S NOTE:
ALL BOUNDARY INFORMATION SHOWN ON SHEET 2 OF 13,
SHEETS 3-13 DELINEATE TOPOGRAPHIC DETAILS AND
DIFFERENCES FOUND ON THE SITE

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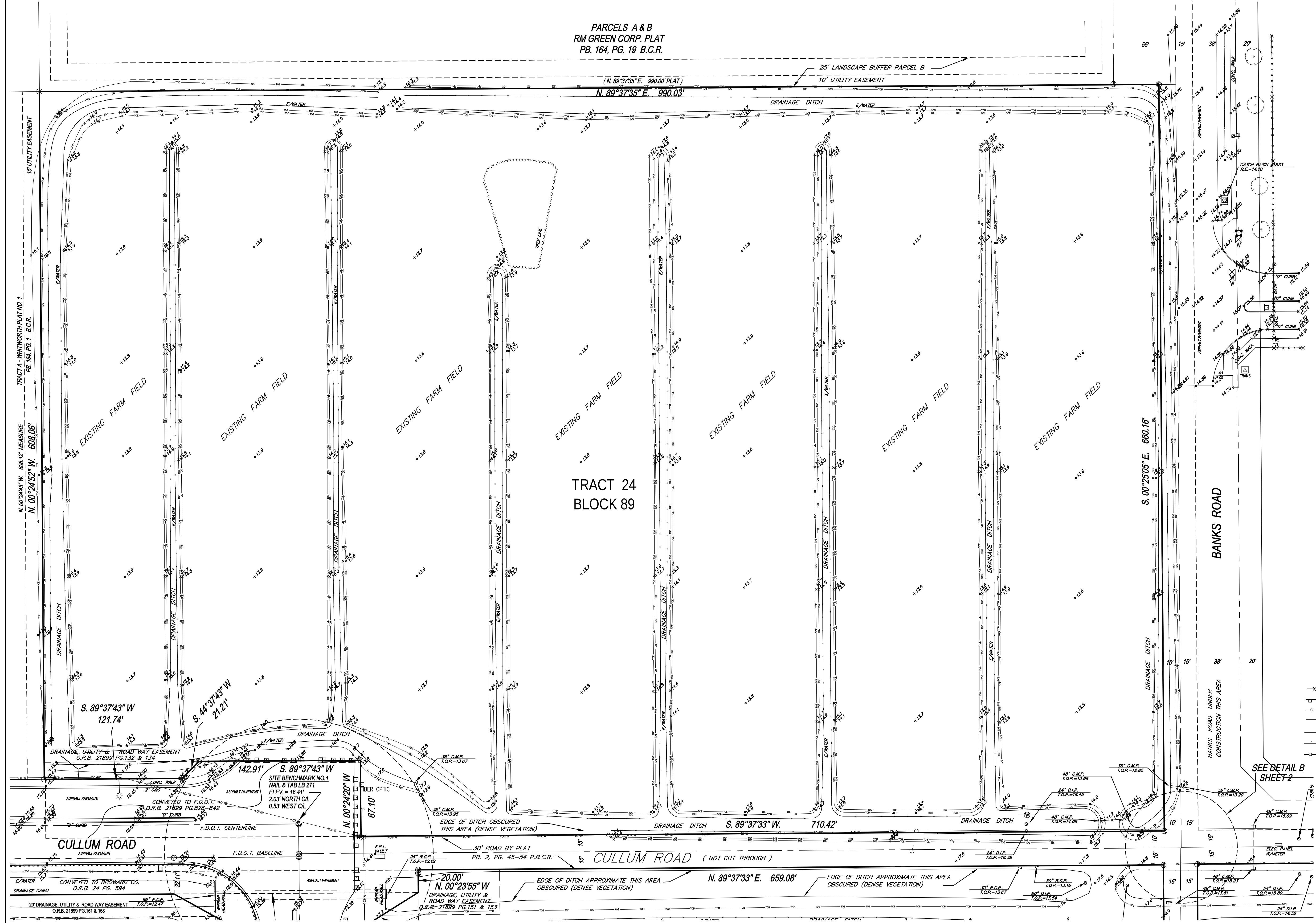
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DRAWN BY:	DM
CHECKED BY:	RDP
FIELD BOOK:	2339
PAGE(S):	1-75

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TEL: (954) 739-6409 FAX: (954) 739-6400
FLORIDA LICENSED ENGINEERING SURVEYING & PLANNING BUSINESS NO. 271
FLORIDA LICENSED LANDSCAPE ARCHITECTURE BUSINESS NO. C00011
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COCONUT CREEK, DRI SURVEY
PREPARED FOR:
JPGP, LLC.
ALTA/ACSM LAND TITLE SURVEY

PROJECT NO.
08-0049

S-3
SHEET 3 OF 13



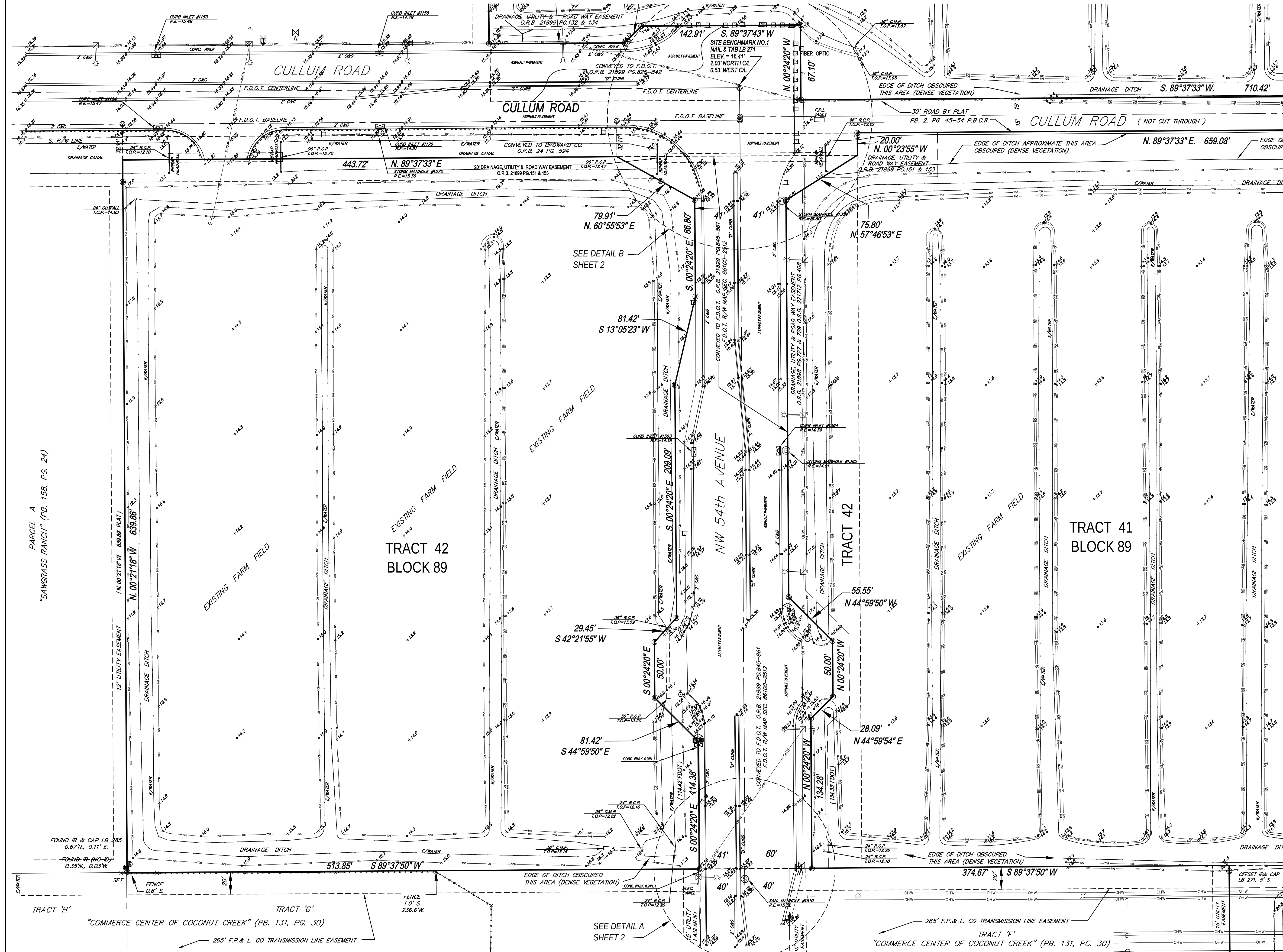
- LEGEND**
- B.O.S. BOTTOM OF STRUCTURE
 - CATV CABLE TELEVISION
 - C.B. CATCH BASIN
 - C&G CURB & GUTTER
 - CMP CORRUGATED MANHOLE PIPE
 - CONC. CONCRETE
 - CLF CHAIN LINK FENCE
 - D.I.P. DUCTILE IRON PIPE
 - ELEC. ELECTRICAL
 - F.F. FINISHED FLOOR
 - FND FOUND
 - I.E. INVERT ELEVATION
 - OHV OVER HEAD WIRES
 - RCP REINFORCED CONCRETE PIPE
 - R.E. RIM ELEVATION
 - F.D.O.T. FLORIDA DEPARTMENT OF TRANSPORTATION
 - B.C.R. BROWARD COUNTY RECORDS
 - P.B.C.R. PALM BEACH COUNTY RECORDS
 - T.O.P. TOP OF PIPE
- ANCHOR
 - BOLLARD
 - BACKFLOW PREVENTOR
 - CATV CABLE TV PEDESTAL
 - CATCH BASIN
 - CENTERLINE
 - CONCRETE POWER POLE
 - CONCRETE LIGHT POLE
 - CURB INLET
 - DOUBLE DETECTOR CHECK VALVE
 - DRAINAGE MANHOLE
 - ELECTRICAL PANEL BOX
 - ELECTRICAL METER
 - ELECTRICAL PULL BOX
 - FIBER OPTIC PEDESTAL
 - FIRE HYDRANT
 - FORCE MAIN VALVE
 - GAS VALVE
 - IRRIGATION VALVE
 - METAL STREET LIGHT POLE
 - PEDESTRIAN SIGNAL
 - SANITARY SEWER AIR RELEASE MANHOLE
 - SANITARY SEWER MANHOLE
 - SANITARY SEWER CLEANOUT
 - SIGN
 - SPOT ELEVATION
 - TELEPHONE PEDESTAL
 - TRANSFORMER
 - WATER AIR RELEASE MANHOLE
 - WATER BLOW-OFF VALVE
 - WATER GATE VALVE
 - WOOD POWER POLE
 - SHADE TREE
 - PALM TREE
 - CHAIN LINK FENCE
 - GUARDRAIL
 - METAL FENCE
 - OHV OVER HEAD WIRES
 - TOP OF BANK
 - TOE OF SLOPE
 - WOOD FENCELINE
 - SET 5/8" IRON ROD CAP LB271
 - SET NAIL&TAB/LB#271
 - FOUND NAIL / SPIKE
 - IRON ROD
 - PERMANENT REFERENCE MARKER

SKETCH OF SURVEY ALTA/ACSM LAND TITLE SURVEY

SURVEYOR'S NOTE:
ALL BOUNDARY INFORMATION SHOWN ON SHEET 2 OF 13.
SHEETS 3-13 DELINEATE TOPOGRAPHIC DETAILS AND
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and/or easements of record.

SCALE: 1"=40'



LEGEND

- | | |
|----------|---|
| B.O.S. | BOTTOM OF STRUCTURE |
| CATV | CABLE TELEVISION |
| C.B. | CATCH BASIN |
| C&G | CURB & GUTTER |
| CMP | CORRUGATED MANHOLE PIPE |
| CONC. | CONCRETE |
| CLF | CHAIN LINK FENCE |
| D.I.P. | DUCTILE IRON PIPE |
| ELEC. | ELECTRICAL |
| F.F. | FINISHED FLOOR |
| FND | FOUND |
| I.E. | INVERT ELEVATION |
| O.H.W. | OVER HEAD WIRES |
| R.C.P. | REINFORCED CONCRETE PIPE |
| R.E. | RIM ELEVATION |
| F.D.O.T. | FLORIDA DEPARTMENT OF
TRANSPORTATION |
| B.C.R. | BROWARD COUNTY RECORDS |
| P.B.C.R. | PALM BEACH COUNTY RECORDS |
| T.O.P. | TOP OF PIPE |
-
- | | |
|------------------------------------|------------------------------------|
| ANCHOR | ANCHOR |
| BOLLARD | BOLLARD |
| BFP | BACKFLOW PREVENTOR |
| CATV | CABLE TV PEDESTAL |
| CATCH BASIN | CATCH BASIN |
| CENTERLINE | CENTERLINE |
| CONCRETE POWER POLE | CONCRETE POWER POLE |
| CONCRETE LIGHT POLE | CONCRETE LIGHT POLE |
| CURB INLET | CURB INLET |
| DDCV | DOUBLE DETECTOR CHECK VALVE |
| DRAINAGE MANHOLE | DRAINAGE MANHOLE |
| ELECTRICAL PANEL BOX | ELECTRICAL PANEL BOX |
| ELECTRICAL METER | ELECTRICAL METER |
| ELECTRICAL PULL BOX | ELECTRICAL PULL BOX |
| FIBER OPTIC PEDESTAL | FIBER OPTIC PEDESTAL |
| FIRE HYDRANT | FIRE HYDRANT |
| FORCE MAIN VALVE | FORCE MAIN VALVE |
| GAS VALVE | GAS VALVE |
| IRRIGATION VALVE | IRRIGATION VALVE |
| METAL STREET LIGHT POLE | METAL STREET LIGHT POLE |
| PEDESTRIAN SIGNAL | PEDESTRIAN SIGNAL |
| SANITARY SEWER AIR RELEASE MANHOLE | SANITARY SEWER AIR RELEASE MANHOLE |
| SANITARY SEWER MANHOLE | SANITARY SEWER MANHOLE |
| SANITARY SEWER CLEANOUT | SANITARY SEWER CLEANOUT |
| SIGN | SIGN |
| SPOT ELEVATION | SPOT ELEVATION |
| TELEPHONE PEDESTAL | TELEPHONE PEDESTAL |
| TRANSFORMER | TRANSFORMER |
| WATER AIR RELEASE MANHOLE | WATER AIR RELEASE MANHOLE |
| WATER BLOW-OFF VALVE | WATER BLOW-OFF VALVE |
| WATER GATE VALVE | WATER GATE VALVE |
| WOOD POWER POLE | WOOD POWER POLE |
| SHADE TREE | SHADE TREE |
| PALM TREE | PALM TREE |
| CHAIN LINK FENCE | CHAIN LINK FENCE |
| GUARDRAIL | GUARDRAIL |
| METAL FENCE | METAL FENCE |
| OVER HEAD WIRES | OVER HEAD WIRES |
| TOP OF BANK | TOP OF BANK |
| TOE OF SLOPE | TOE OF SLOPE |
| WOOD FENCELINE | WOOD FENCELINE |
| SET 5/8\"/> | |

DATE: 9-29-08		SCALE: 1"=40'	DRAWN BY: DM	CHECKED BY: RDP	FIELD BOOK: 2339	PAGE(S): 1-75
REVISED: ADDIT. ELEV. FB 246 02-09		REVISED: TO ADD ADDITIONAL INFORMATION	REVISED: TO ADD DETAILS	REVISED: TO ADD DETAILS	REVISED: TO ADD DETAILS	REVISED: TO ADD DETAILS
PROJECT NO. 08-0049		SHEET 4 OF 13				

COCONUT CREEK, DRI SURVEY

ALTA/ACSM LAND TITLE SURVEY

PREPARED FOR:
JPGP, LLC.

PROJECT NO.
08-0049

SHEET 4 **OF** 13

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FLORIDA LICENSED LANDSCAPE ARCHITECTURE BUSINESS NO. 0000114
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SKETCH OF SURVEY ALTA/ACSM LAND TITLE SURVEY

SURVEYOR'S NOTE:
ALL BOUNDARY INFORMATION SHOWN ON SHEET 2 OF 13,
SHEETS 3-13 DELINEATE TOPOGRAPHIC DETAILS AND
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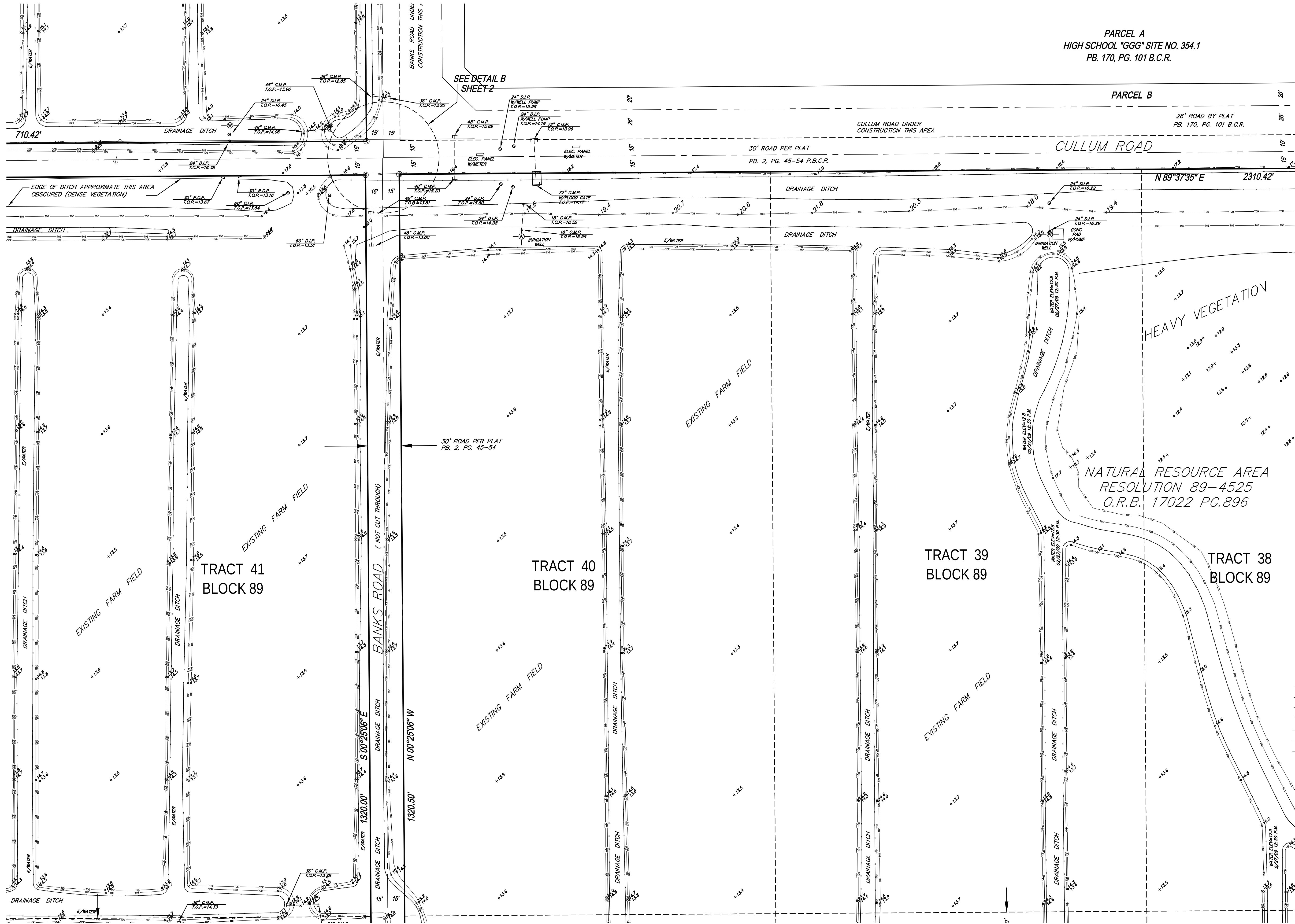
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TEL: (954) 739-6409 FAX: (954) 739-6400
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FLORIDA LICENSED LANDSCAPE ARCHITECTURE BUSINESS NO. C000117
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COCONUT CREEK, DRI SURVEY
PREPARED FOR:
JPGP, LLC.
ALTA/ACSM LAND TITLE SURVEY

PROJECT NO.
08-0049

S-5
SHEET 5 OF 13



LEGEND

B.O.S. BOTTOM OF STRUCTURE
CATV CABLE TELEVISION
C.B. CATCH BASIN
C&G CURB & GUTTER
CMP CORRUGATED MANHOLE PIPE
CONC. CONCRETE
CLF CHAIN LINK FENCE
D.I.P. DUCTILE IRON PIPE
ELEC. ELECTRICAL
F.F. FINISHED FLOOR
FND FOUND
I.E. INVERT ELEVATION
OHW OVER HEAD WIRES
RCP REINFORCED CONCRETE PIPE
R.E. RIM ELEVATION
F.D.O.T. FLORIDA DEPARTMENT OF
TRANSPORTATION
B.C.R. BROWARD COUNTY RECORDS
P.B.C.R. PALM BEACH COUNTY RECORDS
T.O.P. TOP OF PIPE

- ANCHOR
- BOLLARD
- BFP BACKFLOW PREVENTOR
- CATV CABLE TV PEDESTAL
- CATCH BASIN
- CENTERLINE
- CONCRETE POWER POLE
- CONCRETE LIGHT POLE
- CURB INLET
- DOUBLE DETECTOR CHECK VALVE
- DRAINAGE MANHOLE
- ELECTRICAL PANEL BOX
- ELECTRICAL METER
- ELECTRICAL PULL BOX
- FIBER OPTIC PEDESTAL
- FIRE HYDRANT
- FORCE MAIN VALVE
- GAS VALVE
- IRRIGATION VALVE
- METAL STREET LIGHT POLE
- PEDESTRIAN SIGNAL
- SANITARY SEWER AIR RELEASE MANHOLE
- SANITARY SEWER MANHOLE
- SANITARY SEWER CLEANOUT
- SIGN
- SPOT ELEVATION
- TELEPHONE PEDESTAL
- TRANSFORMER
- WATER AIR RELEASE MANHOLE
- WATER BLOW-OFF VALVE
- WATER GATE VALVE
- WOOD POWER POLE
- SHADE TREE
- PALM TREE
- CHAIN LINK FENCE
- GUARDRAIL
- METAL FENCE
- OVER HEAD WIRES
- TOP OF BANK
- TOE OF SLOPE
- WOOD FENCE LINE
- SET 5/8" IRON ROD CAP LB#271
- SET NAIL&TAB/LB#271
- FOUND NAIL / SPIKE
- IRON ROD
- PERMANENT REFERENCE MARKER

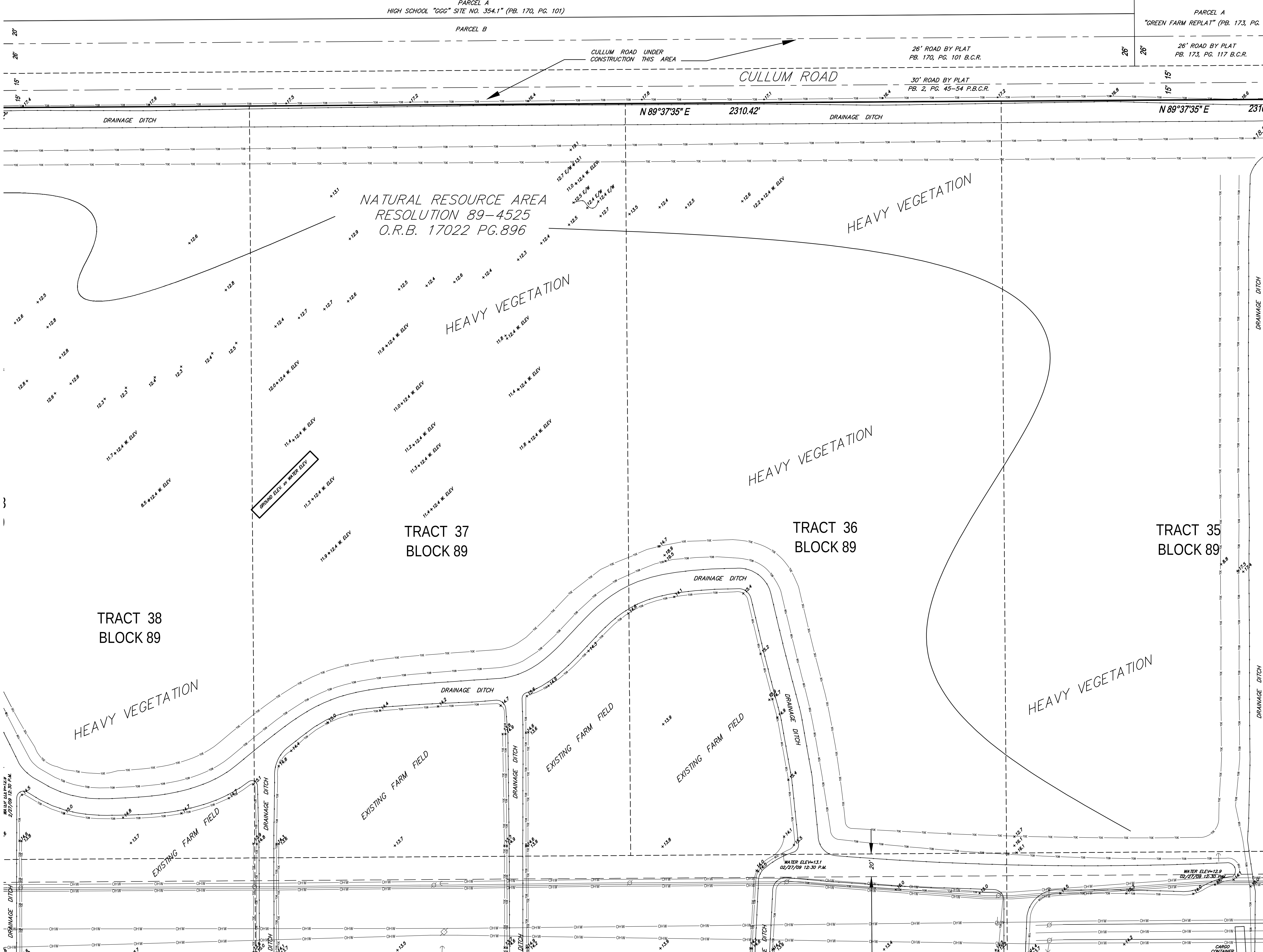
SKETCH OF SURVEY

ALTA/ACSM LAND TITLE SURVEY

SURVEYOR'S NOTE:
ALL BOUNDARY INFORMATION SHOWN ON SHEET 2 OF 13
SHEETS 3 -13 DELINEATE TOPOGRAPHIC DETAILS AND
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LEGEND

B.O.S.	BOTTOM OF STRUCTURE
CATV	CABLE TELEVISION
C.B.	CATCH BASIN
C.B.	CURB & GUTTER
C.M.P.	CORRUGATED MANHOLE PIPE
CONC.	CONCRETE
CLF	CHAIN LINK FENCE
D.I.P.	DUCTILE IRON PIPE
E.E.G.	ELECTRICAL
F.F.	FINISHED FLOOR
F.ND	FIND
I.E.	INVERT ELEVATION
OWH	OVER HEAD WIRES
R.F.	REINFORCED CONCRETE PIPE
R.E.	REINFORCE
F.D.O.T.	FLORIDA DEPARTMENT OF TRANSPORTATION
B.C.R.	BROWARD COUNTY RECORDS
P.B.C.R.	PALM BEACH COUNTY RECORDS
T.O.P.	TOP OF PIPE

 ANCHOR
 BOLLARD
BFP (N/N) BACKFLOW PREVENTOR
CATV (N) CABLE TV PEDESTAL
 CATCH BASIN
 CENTERLINE
 CONCRETE POWER POLE
 CONCRETE LIGHT POLE
 CURB INLET
DDCV (N/N) DOUBLE DETECTOR CHECK VALVE
 DRAINAGE MANHOLE
 ELECTRICAL PANEL BOX
 ELECTRICAL METER
 ELECTRICAL PULL BOX
FIBER OPTIC FIBER OPTIC PEDESTAL
 FIRE HYDRANT
FM (N) FORCE MAIN VALVE
GAS (N) GAS VALVE
IRR (N) IRRIGATION VALVE
 METAL STREET LIGHT POLE
 PEDESTRIAN SIGNAL
 SANITARY SEWER AIR RELEASE MANHOLE
 SANITARY SEWER MANHOLE
 SANITARY SEWER CLEANOUT
 SIGN
 SPOT ELEVATION
 TELEPHONE PEDESTAL
 TRANSFORMER
 WATER AIR RELEASE MANHOLE
 WATER BLOW-OFF VALVE
 WATER GATE VALVE
 WOOD POWER POLE
 SHADE TREE
 PALM TREE
 CHAIN LINK FENCE
 GUARDRAIL
 METAL FENCE
 OVER HEAD WIRES
 TOP OF BANK
 TOE OF SLOPE
 WOOD FENCELINE
 SET 5/8" IRON ROD CAP LB271
 SET NAIL & TAB LB271
 FOUND NAIL / SPIKE
 IRON ROD
 PERMANENT REFERENCE

SCALE: 1"=40'

[illegible]

Craven • Thompson and Associates, Inc.
Engineers • Planners • Surveyors

COCONUT CREEK, DRI SURVEY

PREPARED FOR:
JPGP, LLC.

ALTA/ACSM LAND TITLE SURVEY

PROJECT NO.
08-0049

S-6

SHEET **6** OF **13**

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SKETCH OF SURVEY

ALTA/ACSM LAND TITLE SURVEY

SURVEYOR'S NOTE:
ALL BOUNDARY INFORMATION SHOWN ON SHEET 2 OF 13.
SHEETS 3 -13 DELINEATE TOPOGRAPHIC DETAILS AND
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DATE:	9-29-08	SCALE:	1"=40'	DRAWN BY:	DM	CHECKED BY:	RDP	FIELD BOOK:	2339	PAGE(S):	1-75
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					DM		RDP				
					REVISED-ADDTL ELEV. - FB 2346 62-89						
					2. REVISED TO ADD ADJUSTMENT INFORMATION.						
					1. REVISED TO ADD DETAILS						
					FILED BK: 2346/11-42 2347/13-28						

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35653 N. W. 53RD STREET, FORT LAUDERDALE, FLORIDA 33309
TEL.: (954) 739-6400
FAX: (954) 739-6409
FLORIDA • LICENSED ENGINEERS, SURVEYORS & MATERIALS BUSINESS NOS. 271
FLORIDA LICENSED LANDSCAPE ARCHITECTURE BUSINESS NOS. 0500014

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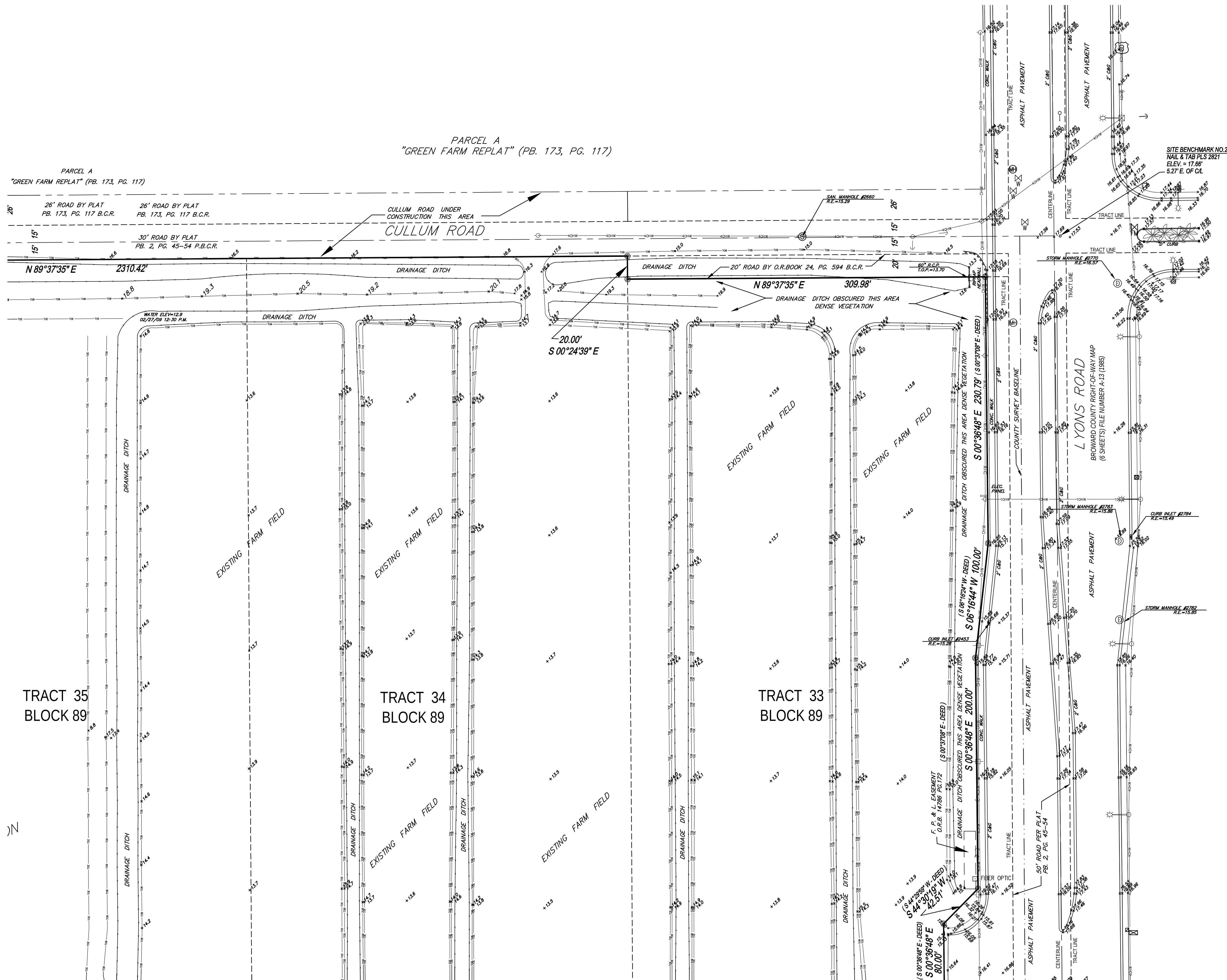
COCONUT CREEK, DRI SURVEY

PREPARED FOR:
JPGP, LLC.

ALTA/ACSM LAND TITLE SURVEY

PROJECT NO
08-0049

S-7

SHEET **7** OF **13**

LEGEND

B.O.S.	BOTTOM OF STRUCTURE
CATV	CABLE TELEVISION
C.B.	CATCH BASIN
C.R.G.	CURB & GUTTER
CMP	CORRUGATED MANHOLE PIPE
CONC.	CONCRETE
CL.F.	CHAIN LINK FENCE
D.I.P.	DUCTILE IRON PIPE
ELEC.	ELECTRICAL
F.F.	FINISHED FLOOR
FIND	FOUND
I.E.	INVERT ELEVATION
OHV	OVER HEAD WRES
ROP	RAISED CONCRETE PIPE
R.E.	RM ELEVATION
F.D.O.T.	FLORIDA DEPARTMENT OF TRANSPORTATION
B.C.R.	BREVARD COUNTY RECORDS
B.C.B.R.	PALM BEACH COUNTY RECORDS
T.O.P.	TOP OF PIPE

ANCHOR
• BOLLARD
BFP BACKFLOW PREVENTOR
CATV CABLE TV PEDESTAL
CATCH BASIN
CENTERLINE
CONCRETE POWER POLE
CONCRETE LIGHT POLE
CURB INLET
DDCV DOUBLE DETECTOR CHECK VALVE
DRAINAGE MANHOLE
ELECTRICAL PANEL BOX
ELECTRICAL METER
ELECTRICAL PULL BOX
FIBER OPTIC
FIBER OPTIC PEDESTAL
FIRE HYDRANT
FM FORCE MAIN VALVE
GAS VALVE
IRR IRRIGATION VALVE
METAL STREET LIGHT POLE
PEDESTRIAN SIGNAL
SANITARY SEWER AIR RELEASE MANHOLE
SANITARY SEWER MANHOLE
SANITARY SEWER CLEANOUT
SIGN
SPOT ELEVATION
TELEPHONE PEDESTAL
TRANSFORMER
WATER AIR RELEASE MANHOLE
WATER BLOW-OFF VALVE
WATER GATE VALVE
WOOD POWER POLE
SHADE TREE
PALM TREE
CHAIN LINK FENCE
GUARDRAIL
METAL FENCE
OVER HEAD WIRES
TOB TOP OF BANK
TOE TOE OF SLOPE
WOOD FENCELINE
SET 5/8" IRON ROD CAP LB271
SET NAIL & TAB/LB#271
FOUND NAIL / SPIKE
IRON ROD
PERMANENT REFERENCE MARK

SKETCH OF SURVEY

ALTA/ACSM LAND TITLE SURVEY

SURVEYOR'S NOTE:
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SHEETS 3 -13 DELINEATE TOPOGRAPHIC DETAILS AND
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SCALE: 1"=40'

[illegible]

GRAVEN • THOMPSON AND ASSOCIATES, INC.
ENGINEERS • PLANNERS • SURVEYORS
3563 N.W. 53RD STREET, FORT LAUDERDALE, FLORIDA 33309
TEL.: (954) 739-6400
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FLORIDA LICENSED LANDSCAPE ARCHITECTURE BUSINESS NO. C00014

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COCONUT CREEK, DRI SURVEY

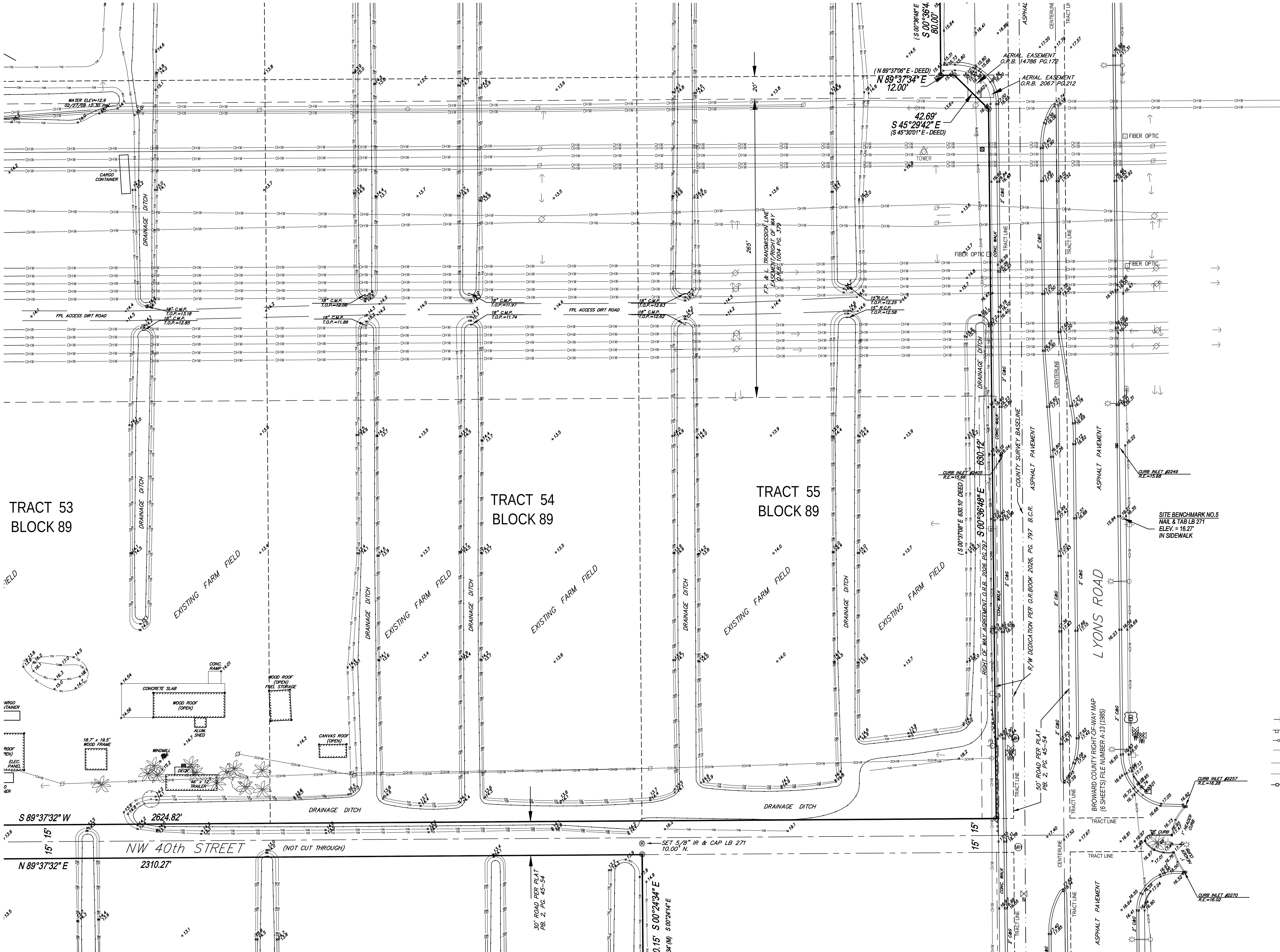
PREPARED FOR:
JPGP, LLC.

ALTA/ACSM LAND TITLE SURVEY

PROJECT NO.
08-0049

S-8

SHEET **8** OF **13**



LEGEND

B.O.S. BOTTOM OF STRUCTURE
CATV CABLE TELEVISION
C.B. CURB BASIN
C&G CURB & GUTTER
COMP CORRUGATED MANHOLE PIPE
CONC. CONCRETE
CLF CHAIN LINK FENCE
D.I.P. DUCTILE IRON PIPE
ELEC. ELECTRICAL
F.F. FINISHED FLOOR
FND FOUND
I.E. INVERT ELEVATION
OHV OVER HEAD WIRES
R.C. REINFORCED CONCRETE PIPE
R.E. RIM ELEVATION
F.D.O.T. FLORIDA DEPARTMENT OF
TRANSPORTATION
B.C.R. BROWARD COUNTY RECORDS
P.C.R. PALM BEACH COUNTY RECORDS
T.O.P. TOP OF PIPE

- ANCHOR
• BOLLARD
BFP BACKFLOW PREVENTOR
CATV CABLE TV PEDESTAL
 CATCH BASIN
 CENTERLINE
 CONCRETE POWER POLE
 CONCRETE LIGHT POLE
 CURB INLET
DDCV DOUBLE DETECTOR CHECK VALVE
 DRAINAGE MANHOLE
 ELECTRICAL PANEL BOX
 ELECTRICAL METER
 ELECTRICAL PULL BOX
FIBER OPTIC FIBER OPTIC PEDESTAL
 FIRE HYDRANT
FM FORCE MAIN VALVE
GAS GAS VALVE
IRR IRRIGATION VALVE
 METAL STREET LIGHT POLE
 PEDESTRIAN SIGNAL
 SANITARY SEWER AIR RELEASE MANHOLE
 SANITARY SEWER MANHOLE
 SANITARY SEWER CLEANOUT
 SIGN
 SPOT ELEVATION
TELE TELEPHONE PEDESTAL
TRANS TRANSFORMER
 WATER AIR RELEASE MANHOLE
 WATER BLOW-OFF VALVE
 WATER GATE VALVE
 WOOD POWER POLE
 SHADE TREE
 PALM TREE
— x — CHAIN LINK FENCE
 GUARDRAIL
 METAL FENCE
— OHV — OVER HEAD WIRES
— TOB — TOP OF BANK
— TOE — TOE OF SLOPE
 WOOD FENCELINE
Ⓡ SET 5/8" IRON ROD CAP LB271
Ⓢ SET NAIL & TAB / LB271
△ FOUND NAIL / SPIKE
Ⓡ IRON ROD
● PERMANENT REFERENCE

3: \2008\08-0049_Coconut_Creek\DWG\08-0049 SOS.dwg [S-8] Mar 16, 2009 2:09pm NMESSINA

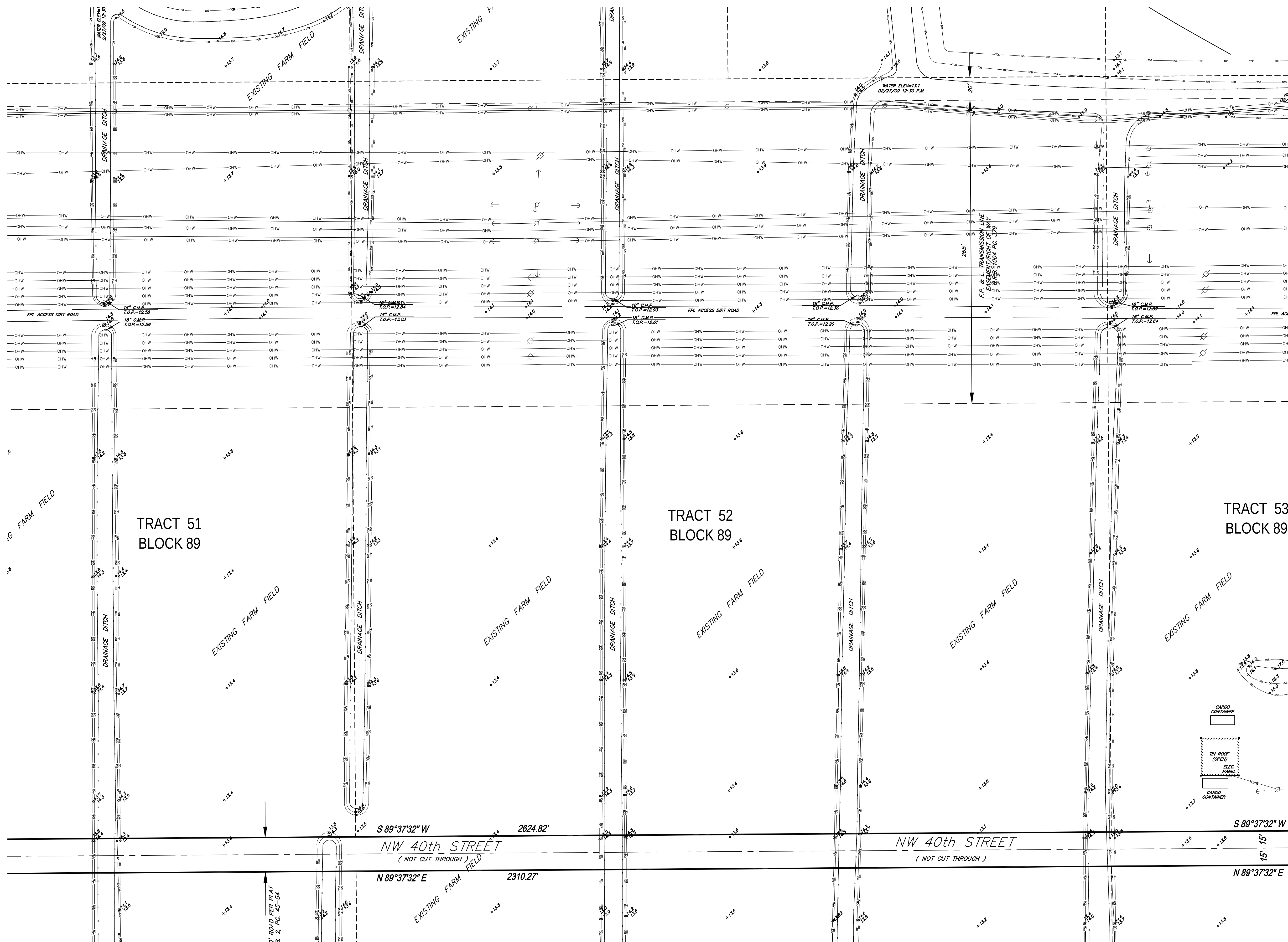
SKETCH OF SURVEY

ALTA/ACSM LAND TITLE SURVEY

ALL BOUNDARY INFORMATION SHOWN ON SHEET 2 OF 13,
SHEETS 3-13 DELINEATE TOPOGRAPHIC DETAILS AND
DIFFERENCES FOUND ON THE SITE

NOTE: The undersigned and CRAVEN THOMPSON & ASSOCIATES, LLP, make no representations or guarantees as to the information reflected hereon pertaining to easements, right-of-way, set back lines, reservations, agreements and other similar matters, and the instrument is not intended to reflect or set forth all such matters. Such information should be obtained and further, confirmed by others through appropriate title verification.

NOTE: Lands shown hereon were not abstracted for right-of-way and/or easements of record.



LEGEND

- | | |
|----------|---|
| B.O.S. | BOTTOM OF STRUCTURE |
| CATV | CABLE TELEVISION |
| C.B. | CATCH BASIN |
| C&G | CURB & GUTTER |
| OMP | CORRUGATED MANHOLE PIPE |
| CONC. | CONCRETE |
| CLF | CHAIN LINK FENCE |
| D.I.P. | DUCTILE IRON PIPE |
| ELEC. | ELECTRICAL |
| F.F. | FINISHED FLOOR |
| FND | FOUND |
| I.E. | INVERT ELEVATION |
| OHW | OVER HEAD WIRES |
| R.C. | REINFORCED CONCRETE PIPE |
| R.E. | RM. ELEVATION |
| F.D.O.T. | FLORIDA DEPARTMENT OF
TRANSPORTATION |
| B.C.R. | BROWARD COUNTY RECORDS |
| P.B.C.R. | PALM BEACH COUNTY RECORDS |
| T.O.P. | TOP OF PIPE |
-
- | | |
|---|---------------------------------------|
|  | ANCHOR |
| • | BOLLARD |
| BFP  | BACKFLOW PREVENTOR |
| CATV  | CABLE TV PEDESTAL |
|  | CATCH BASIN |
|  | CENTERLINE |
|  | CONCRETE POWER POLE |
|  | CONCRETE LIGHT POLE |
|  | CURB INLET |
| DDCV  | DOUBLE DETECTOR CHECK VALVE |
|  | DRAINAGE MANHOLE |
|  | ELECTRICAL PANEL BOX |
|  | ELECTRICAL METER |
|  | ELECTRICAL PULL BOX |
| FIBER OPTIC  | FIBER OPTIC PEDESTAL |
|  | FIRE HYDRANT |
|  | FORCE MAIN VALVE |
|  | GAS VALVE |
|  | IRRIGATION VALVE |
|  | METAL STREET LIGHT POLE |
|  | PEDESTRIAN SIGNAL |
|  | SANITARY SEWER AIR RELEASE
MANHOLE |
|  | SANITARY SEWER MANHOLE |
|  | SANITARY SEWER CLEANOUT |
|  | SIGN |
|  | SPOT ELEVATION |
| TELE  | TELEPHONE PEDESTAL |
| TRANS  | TRANSFORMER |
|  | WATER AIR RELEASE MANHOLE |
|  | WATER BLOW-OFF VALVE |
|  | WATER GATE VALVE |
|  | WOOD POWER POLE |
|  | SHADE TREE |
|  | PALM TREE |
| | CHAIN LINK FENCE |
| | GUARDRAIL |
| | METAL FENCE |
| | OVER HEAD WIRES |
| | TOP OF BANK |
| | TOP OF SLOPE |
| | WOOD FENCELINE |
| | SET 5/8" IRON ROD CAP LB271 |
| | SET NAIL & TAG/LB271 |
| | FOUND NAIL / SPIKE |
| | IRON ROD |
| | PERMANENT REFERENCE
MARKER |

SCALE: 1"=40'

[illegible]

Craven • Thompson and Associates, Inc.
ENGINEERS • PLANNERS • SURVEYORS
 3565 N.W. 53RD STREET, FORT LAUDERDALE, FLORIDA 33309
 FAX: (954) 739-6409 TEL: (954) 739-4400
 FLORIDA LICENSED ENGINEERING, SURVEYING & MAPPING BUSINESS NO. 271
 FLORIDA LICENSED LANDSCAPE ARCHITECTURE BUSINESS NO. 000014

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COCONUT CREEK, DRI SURVEY

PREPARED FOR:
JPGP, LLC.

ALTA/ACSM LAND TITLE SURVEY

PROJECT NO.
08-0049

S-9

SHEET 9 OF 13

SKETCH OF SURVEY ALTA/ACSM LAND TITLE SURVEY

SURVEYOR'S NOTE:
ALL BOUNDARY INFORMATION SHOWN ON SHEET 2 OF 13,
SHEETS 3-13 DELINEATE TOPOGRAPHIC DETAILS AND
DIFFERENCES FOUND ON THE SITE

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SCALE: 1"=40'

LEGEND

B.O.S. BOTTOM OF STRUCTURE
C.B. CATCH BASIN
C.C. CURB & GUTTER
CMP CORRUGATED MANHOLE PIPE
CONC. CONCRETE
CLF CHAIN LINK FENCE
D.I.P. DUCTILE IRON PIPE
ELEC. ELECTRICAL
F.F. FINISHED FLOOR
FND FOUND
I.E. INVERT ELEVATION
OHW OVER HEAD WIRES
RCP REINFORCED CONCRETE PIPE
R.E. RIM ELEVATION
F.D.O.T. FLORIDA DEPARTMENT OF
TRANSPORTATION
BROWARD COUNTY RECORDS
P.B.C.R. PALM BEACH COUNTY RECORDS
T.O.P. TOP OF PIPE

ANCHOR
BOLLARD
BACKFLOW PREVENTOR
CABLE TV PEDESTAL
CATCH BASIN
CENTERLINE
CONCRETE POWER POLE
CONCRETE LIGHT POLE
CURB INLET
DOUBLE DETECTOR CHECK VALVE
DRAINAGE MANHOLE
ELECTRICAL PANEL BOX
ELECTRICAL METER
ELECTRICAL PULL BOX
FIBER OPTIC
FIBER OPTIC PEDESTAL
FIRE HYDRANT
FORCE MAIN VALVE
GAS VALVE
IRRIGATION VALVE
METAL STREET LIGHT POLE
PEDESTRIAN SIGNAL
SANITARY SEWER AIR RELEASE
MANHOLE
SANITARY SEWER MANHOLE
SANITARY SEWER CLEANOUT
SIGN
SPOT ELEVATION
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TOE OF SLOPE
WOOD FENCELINE
SET 5/8" IRON ROD CAP LB271
SET NAIL&TAB/LB#271
FOUND NAIL / SPIKE
IRON ROD
PERMANENT REFERENCE
MARKER

CRAVEN • THOMPSON AND ASSOCIATES, INC.
ENGINEERS • PLANNERS • SURVEYORS
3563 N.W. 53RD STREET, FORT LAUDERDALE, FLORIDA 33309
TEL: (954) 739-6409
FAX: (954) 739-6409
FLORIDA LICENSED LANDSCAPE ARCHITECTS BUSINESS NO. 000011
FLORIDA LICENSED LANDSCAPE ARCHITECTS BUSINESS NO. 000011

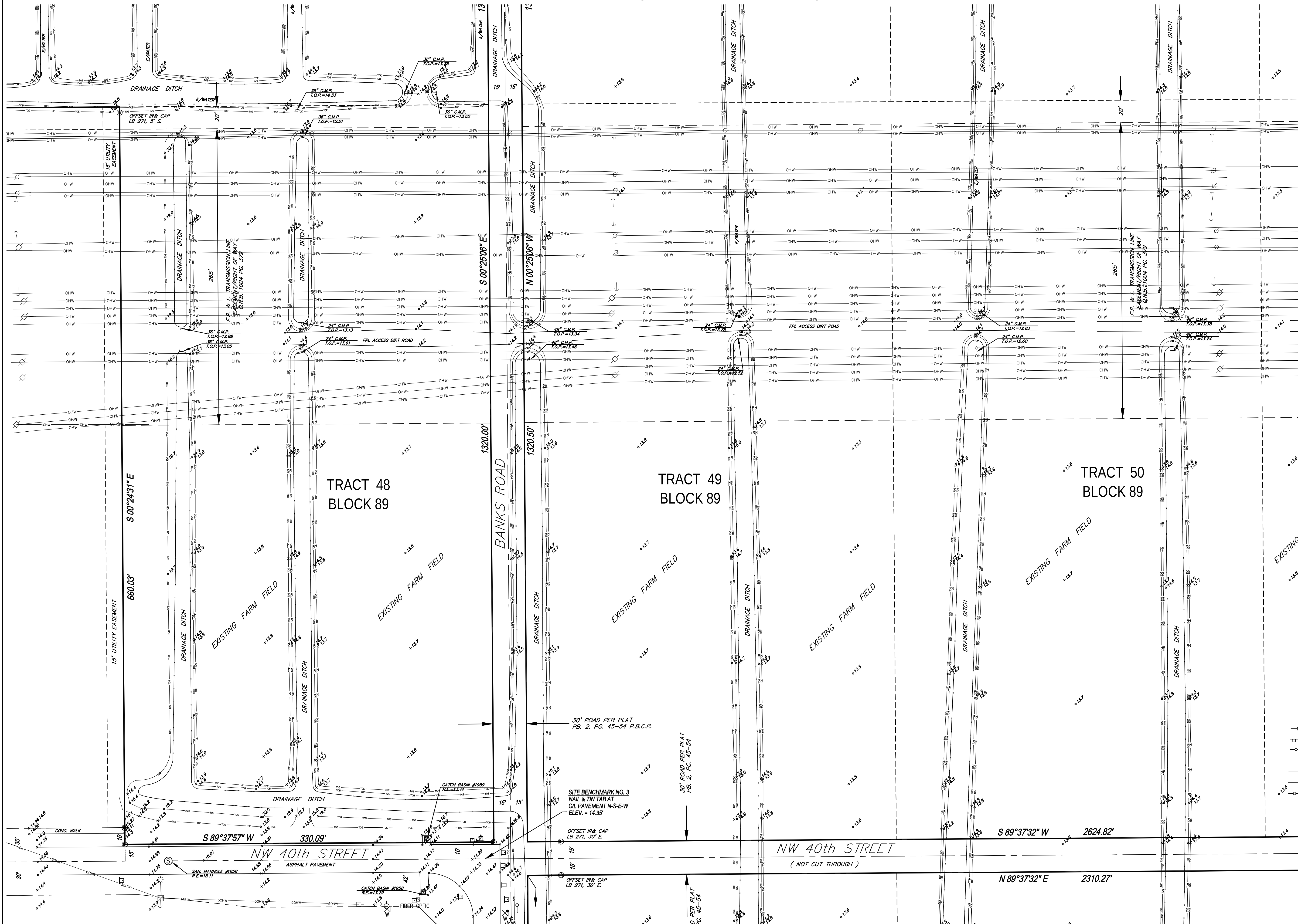
COCONUT CREEK, DRI SURVEY

PREPARED BY:
JPGP, LLC.

PROJECT NO.
08-0049

S-10

SHEET 10 OF 13



SKETCH OF SURVEY

ALTA/ACSM LAND TITLE SURVEY

SURVEYOR'S NOTE:
ALL BOUNDARY INFORMATION SHOWN ON SHEET 2 OF 13
SHEETS 3 -13 DELINEATE TOPOGRAPHIC DETAILS AND
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SCALE: 1"=40'

[illegible]

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ENGINEERS • PLANNERS • SURVEYORS
 3563 N.W. 53RD STREET, FORT LAUDERDALE, FLORIDA 33309
 TEL. (954) 739-6409
 FAX: (954) 739-6409
 FLORIDA LICENCED ENGINEERING, SURVEYING & MAPPING BUSINESS NO. 271
 FLORIDA LICENCED LANDSCAPE ARCHITECTURE BUSINESS NO. 000014

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COCONUT CREEK, DRI SURVEY

PREPARED FOR:
JPGP, LLC.

ALTA/ACSM LAND TITLE SURVEY

PROJECT NO.
08-0049

S-11
SHEET 11 OF 13

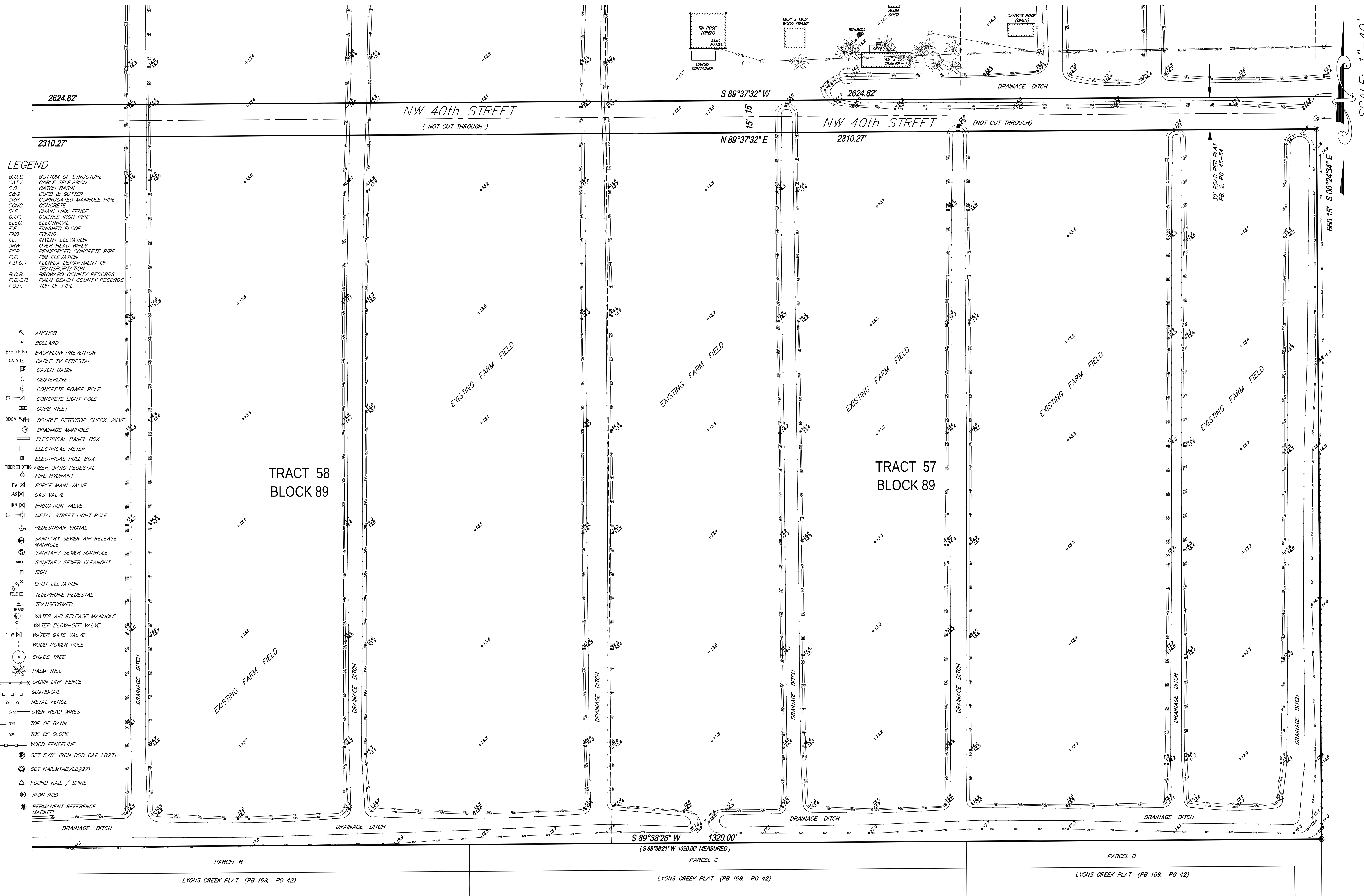
SKETCH OF SURVEY

ALTA/ACSM LAND TITLE SURVEY

SURVEYOR'S NOTE:
ALL BOUNDARY INFORMATION SHOWN ON SHEET 2 OF 13;
SHEETS 3 -13 DELINEATE TOPOGRAPHIC DETAILS AND
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SCALE: 1" = 40'		DATE: 9-29-08	8"
3. REVISED - ADULT ELEV. FB 2346 02-69	DM	02-02-09	
2. REVISED TO ADD ADDITIONAL INFORMATION.	RDP	11-1-08	
1. REVISED TO ADD DETAILS	RDP	11-5-08	
FLD BK: 2346/11-42 2347/13-78	BY:	DATE:	
DESCRIPTION:			
	CHECKED BY:	FIELD BOOK:	2339
	DRAWN BY:	PAGE(S):	1-75

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 FLORIDA LICENSED LANDSCAPE ARCHITECTURE BUSINESS NO. C00014

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COCONUT CREEK, DRI SURVEY

PREPARED FOR:
JPGP, LLC.

ALTA/ACSM LAND TITLE SURVEY

PROJECT NO.
08-0049

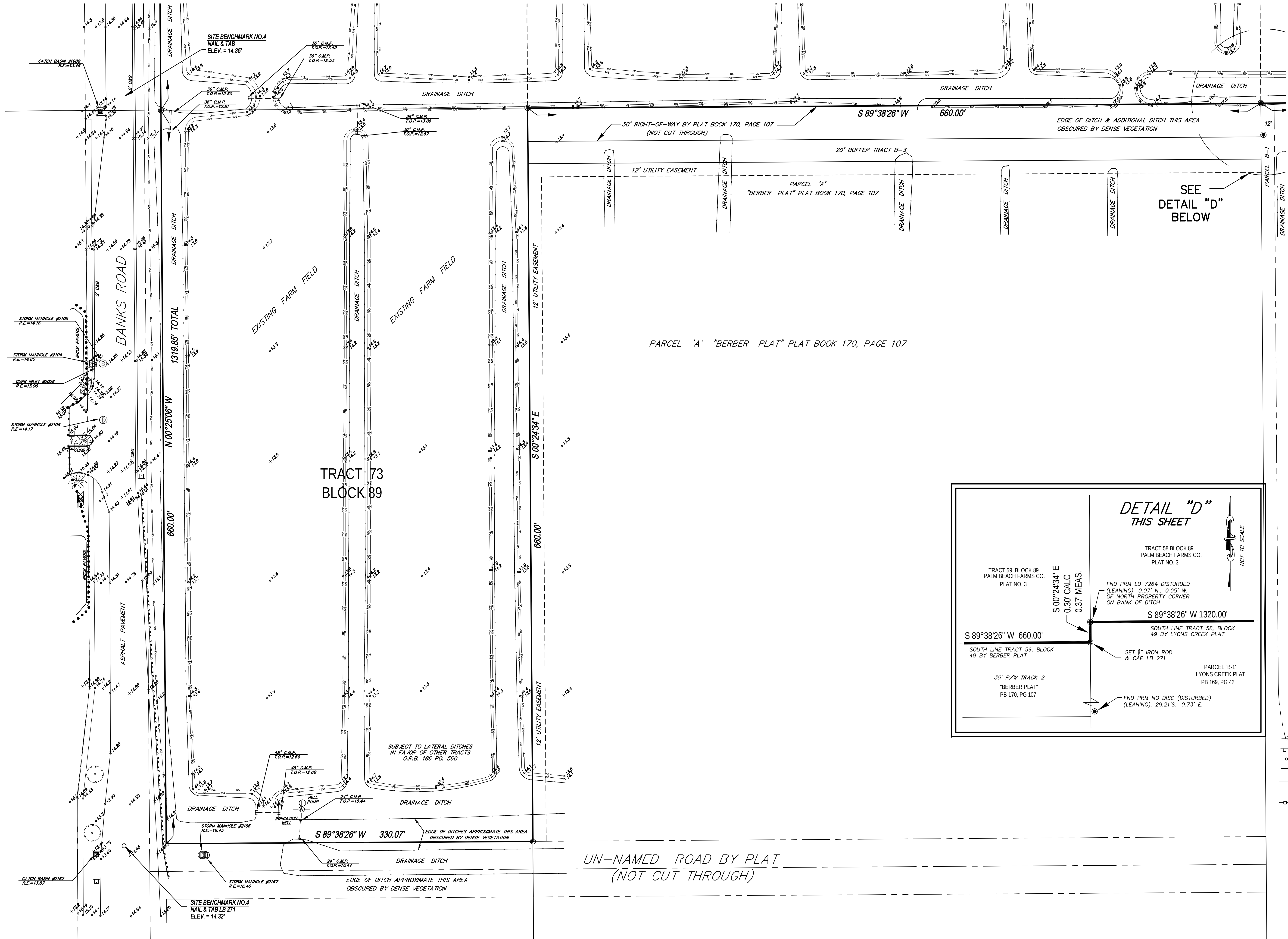
S-12

SHEET **12** OF **13**

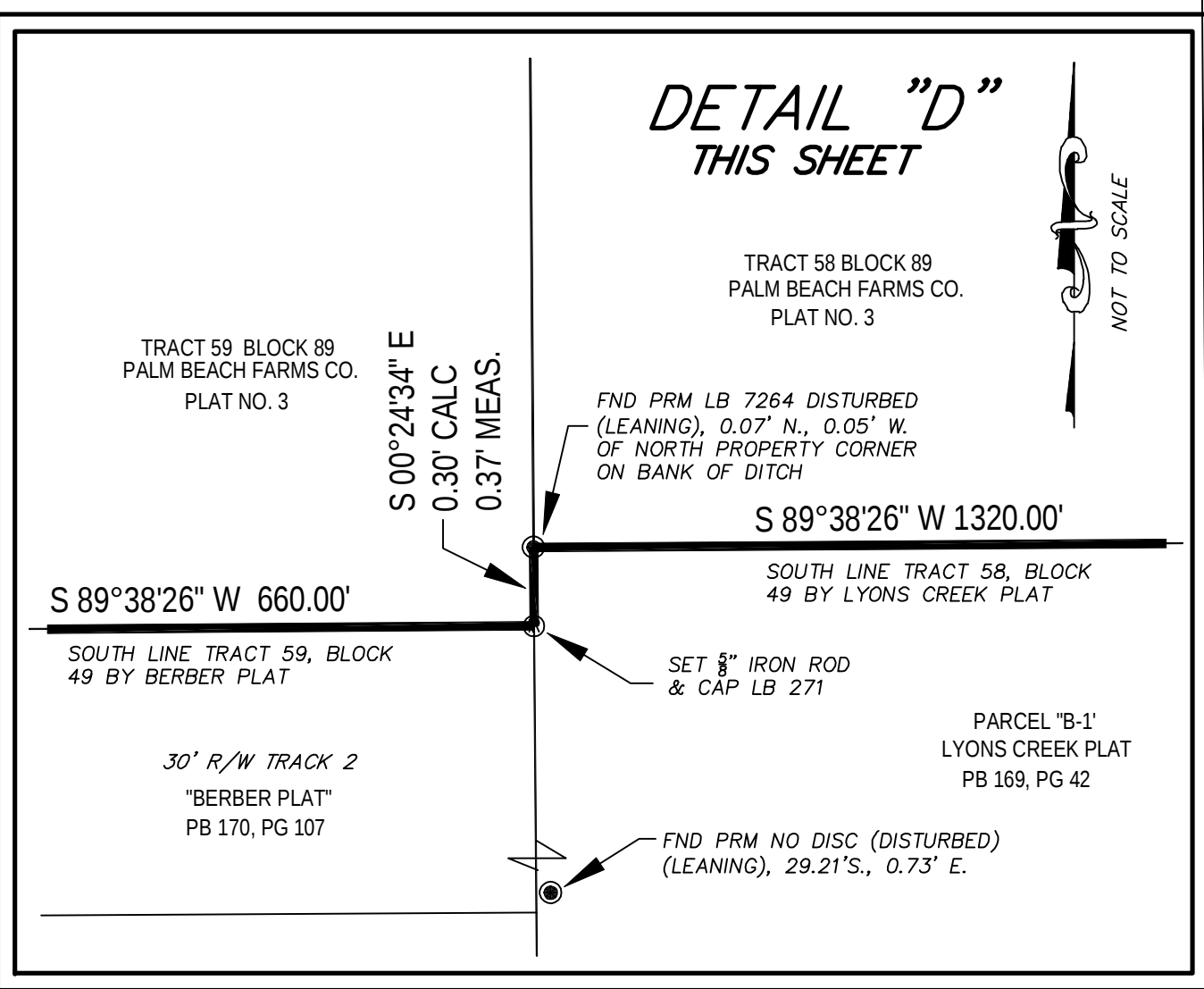
SKETCH OF SURVEY
ALTA/ACSM LAND TITLE SURVEY

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- LEGEND**
- B.O.S. BOTTOM OF STRUCTURE
 - CATV CABLE TELEVISION
 - C.B. CATCH BASIN
 - C&G CURB & GUTTER
 - C&M CORRUGATED MANHOLE PIPE
 - CONC. CONCRETE
 - CLF CHAIN LINK FENCE
 - D.I.P. DUCTILE IRON PIPE
 - ELEC. ELECTRICAL
 - F.F. FINISHED FLOOR
 - FND FOUND
 - I.E. INVERT ELEVATION
 - OHV OVER HEAD WIRES
 - RCP REINFORCED CONCRETE PIPE
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 - T.O.P. TOP OF PIPE
-
- ANCHOR
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 - SANITARY SEWER AIR RELEASE MANHOLE
 - SANITARY SEWER MANHOLE
 - SANITARY SEWER CLEANOUT
 - SIGN
 - SPOT ELEVATION
 - TELEPHONE PEDESTAL
 - TRANSFORMER
 - WATER AIR RELEASE MANHOLE
 - WATER BLOW-OFF VALVE
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 - GUARDRAIL
 - METAL FENCE
 - OHV OVER HEAD WIRES
 - TOB TOP OF BANK
 - TOE TOE OF SLOPE
 - WOOD FENCELINE
 - SET 5/8" IRON ROD CAP LB271
 - SET NAIL&TAB/LB#271
 - FOUND NAIL / SPIKE
 - IRON ROD
 - PERMANENT REFERENCE MARKER



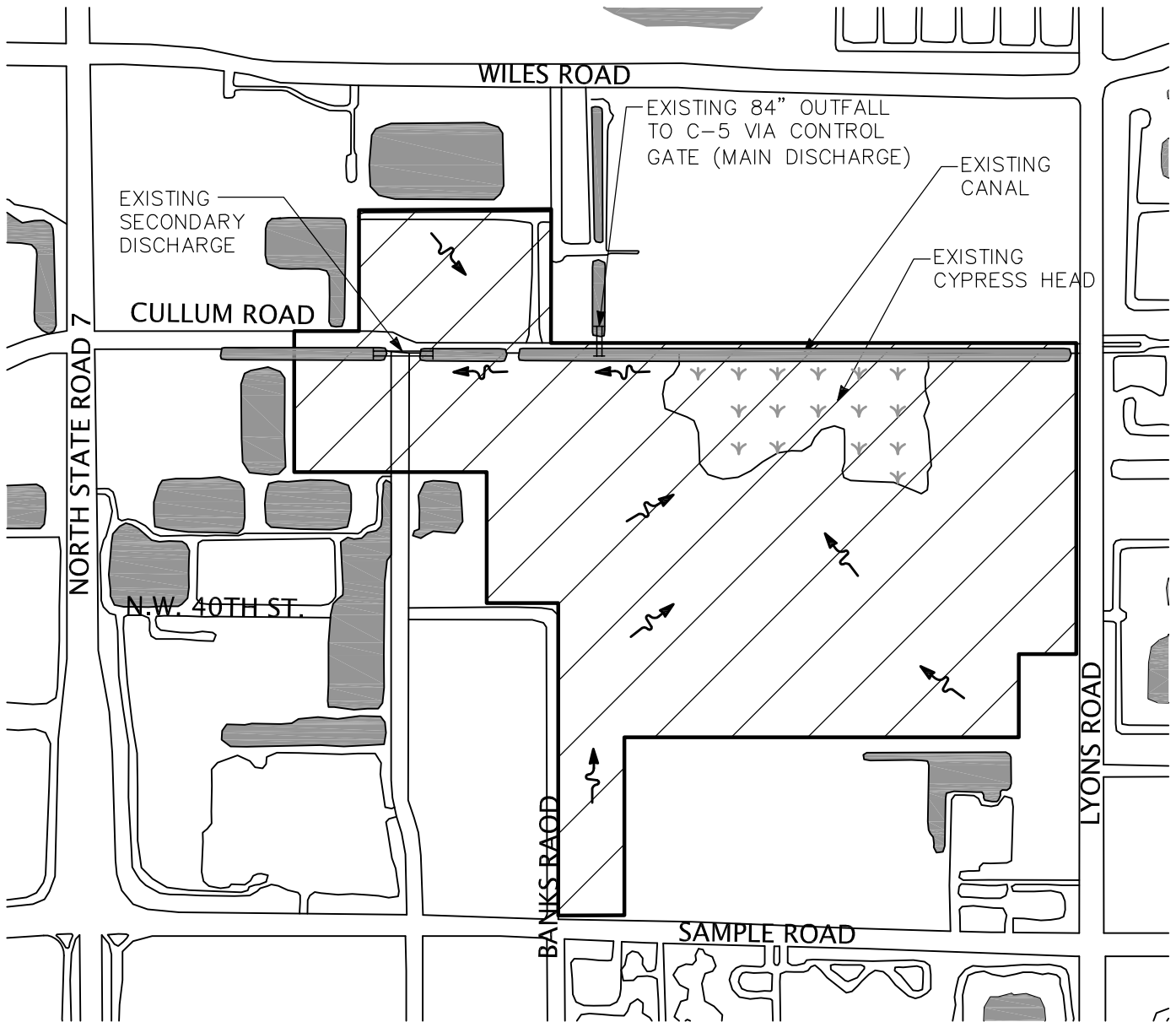
SCALE: 1"=40'

DATE:	9-29-08
SCALE:	1"=40'
DRAWN BY:	DM
CHECKED BY:	RDP
REVISED TO ADD ADDITIONAL INFORMATION:	DM 03-02-09
REVISED TO ADD DETAILS:	RDP 11-11-08
FIELD BOOK:	FLD BK 2346/11-42 2347/13-78
BY:	DATE:
DESCRIPTION:	

CRAVEN • THOMPSON AND ASSOCIATES, INC. ENGINEERS • PLANNERS • SURVEYORS 3563 N.W. 53RD STREET, FORT LAUDERDALE, FLORIDA 33309 FAX: (954) 739-6409 FLORIDA LICENSED ENGINEERING SURVEYING & PLANNING BUSINESS NO. 271 FLORIDA LICENSED LANDSCAPE ARCHITECTURE BUSINESS NO. C000117	PROJECT NO. 08-0049
COCONUT CREEK, DRI SURVEY	SHEET 13 OF 13

CRAVEN • THOMPSON AND ASSOCIATES, INC. ENGINEERS • PLANNERS • SURVEYORS 3563 N.W. 53RD STREET, FORT LAUDERDALE, FLORIDA 33309 FAX: (954) 739-6409 FLORIDA LICENSED ENGINEERING SURVEYING & PLANNING BUSINESS NO. 271 FLORIDA LICENSED LANDSCAPE ARCHITECTURE BUSINESS NO. C000117	PROJECT NO. 08-0049
COCONUT CREEK, DRI SURVEY	SHEET 13 OF 13

N:\dwgs\eng\PROJECTS\2008\08-0049\Email-In\12-03-08\EX-IA-EXISTING.dwg, 8.5x11, 9/14/2009 4:33:59 PM, mnovack, PDF995, Letter, 1:1



SOURCE: A)GOOGLE EARTH
B)LIVEMAPS.COM

EXHIBIT I-A (EXISTING)

MASTER DRAINAGE PLAN MAP

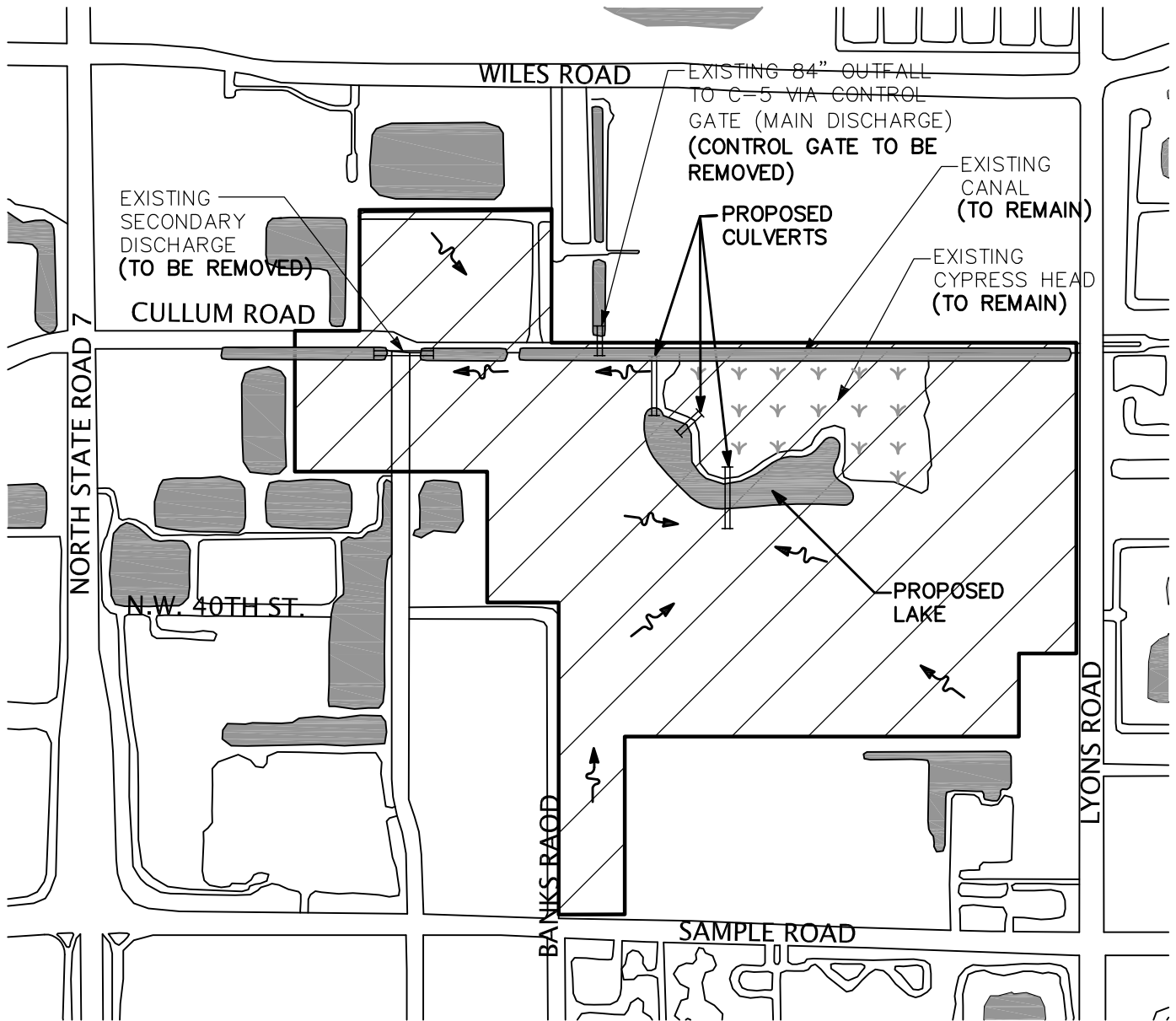
MAIN STREET @
COCONUT CREEK DRI



SCALE: 1:10,000
DATE: DECEMBER 2, 2008

AUTOCADLT2000\PROJECTS\2805\DR\EX-I

N:\dwgs\eng\PROJECTS\2008\08-0049\Email-In\12-03-08\EX-IB-PROPOSED.dwg, 8.5x11, 9/14/2009 4:36:26 PM, mnovack, PDF995, Letter, 1:1



SOURCE: A)GOOGLE EARTH
B)LIVEMAPS.COM

NOTE: LAKE SIZE AND LOCATION SUBJECT
TO ZONING AND SITE PLAN APPROVAL.

EXHIBIT I-B (PROPOSED)

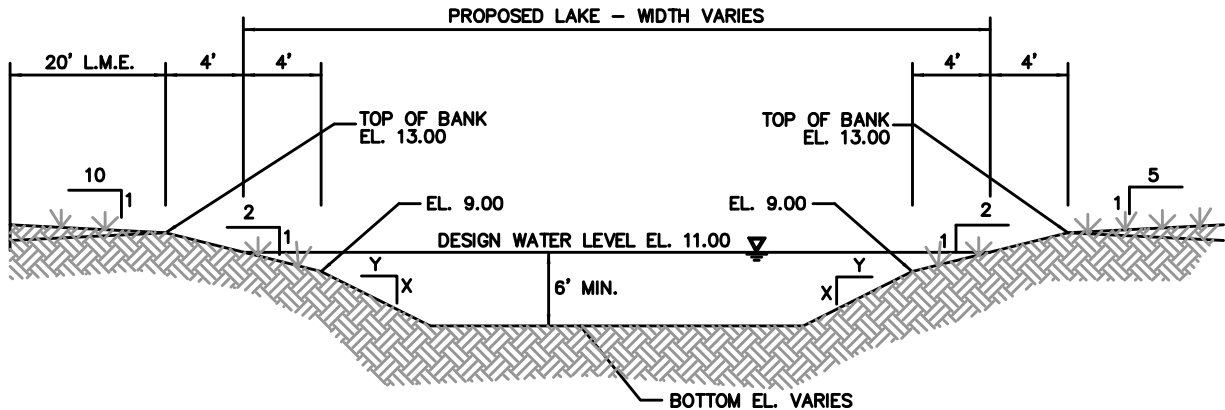
MASTER DRAINAGE PLAN MAP

MAIN STREET @
COCONUT CREEK DRI



SCALE: 1:10,000
DATE: DECEMBER 2, 2008

AUTOCADLT2000\PROJECTS\2805\DR\EX-I



COCOMAR WATER CONTROL DISTRICT NOTES:

- 1) LAKE BANK SLOPE 2:1 TO 2 FEET BELOW THE DESIGN WATER LEVEL. BELOW THIS ELEVATION, THE X/Y SLOPE RANGES FROM 2:1 OR THE NATURAL ANGLE OF REPOSE OF THE SOIL.
- 2) CANAL BANKS AND BERMS SHALL BE PLANTED WITH VEGETATION APPROVED BY THE COCOMAR WATER CONTROL DISTRICT.
- 3) THE MINIMUM BEARING RATIO IN THE MAINTENANCE EASEMENT SHALL BE LBR 40.

TYPICAL LAKE SECTION

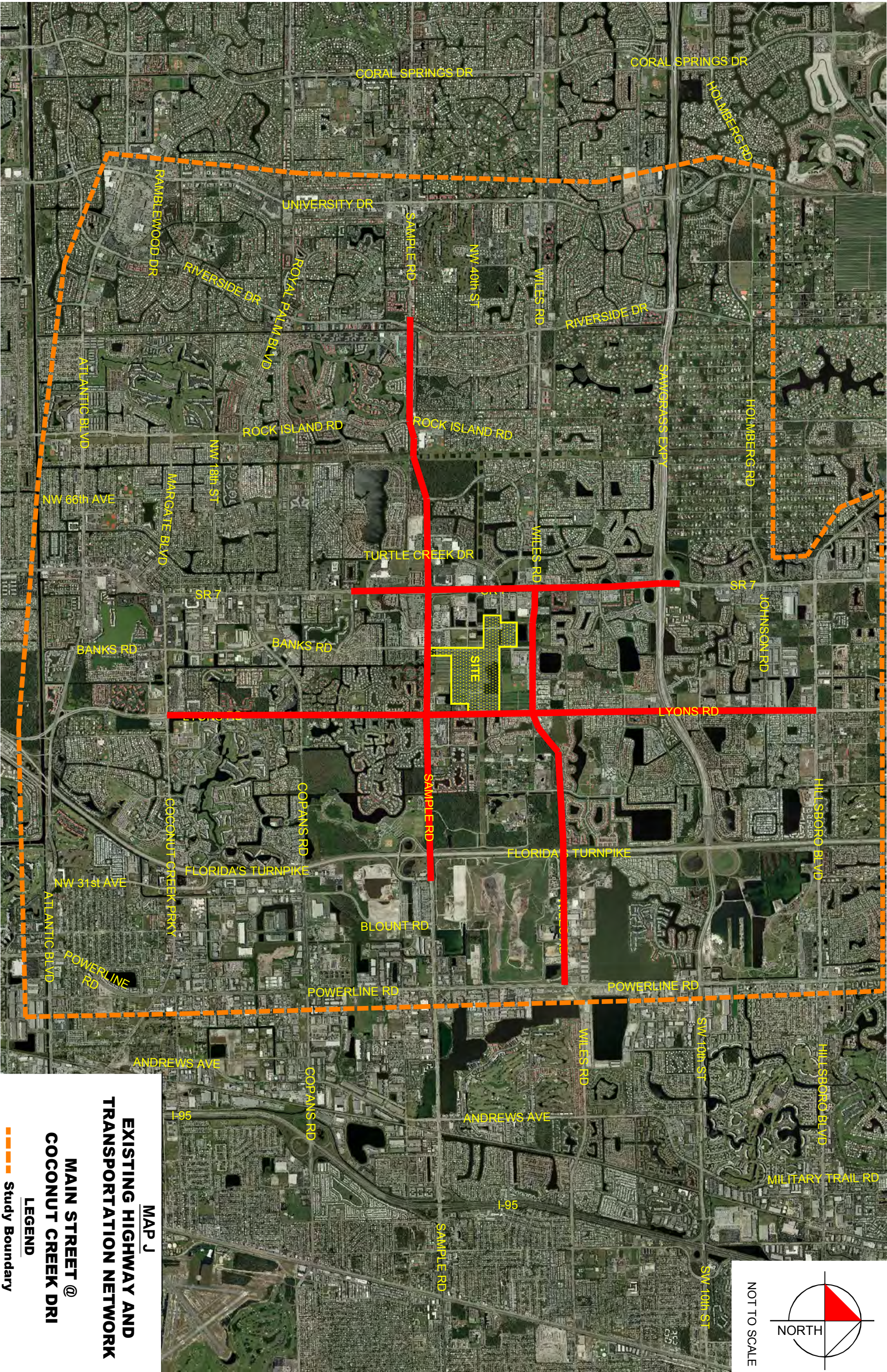
SCALE: NONE

EXHIBIT I-C

TYPICAL LAKE SECTION

MAIN STREET @
COCONUT CREEK DRI

SCALE: NONE
DATE: SEPTEMBER 2009



MAP J
EXISTING HIGHWAY AND
TRANSPORTATION NETWORK
MAIN STREET @
COCONUT CREEK DRI

- LEGEND**
- Study Boundary
 - Significant Roadway Segment